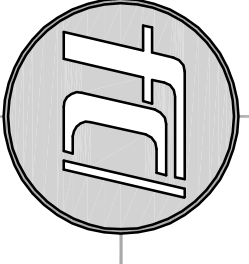


Developer:
Cameron J. Coble, II
1028 Nashville Hwy.
Lewisburg, TN 37091
Contact: CJ Coble
ph: 931.637.2888

Consultant:
Ferlisi Civil Design
P.O. Box 5
Corrsville, TN 37047
Contact: David Ferlisi
ferlisid@att.net
ph: 615.957.2338

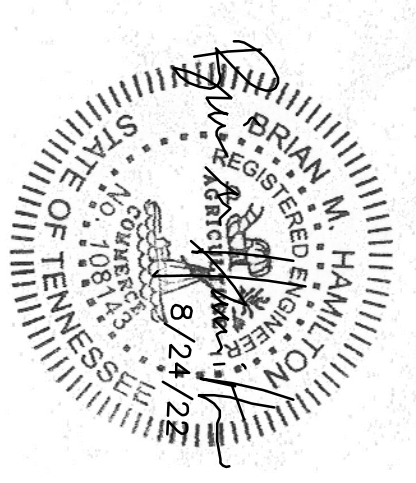
Surveyor:
Reaser Land Surveying
112 East Commerce St.
Lewisburg, TN 37091
Contact: Todd Reaser, PLS
tk2944@gmail.com
ph: 931.625.2480

In cooperation with:



Ferlisi
Civil Design
Consulting & Design Services
P.O. Box 1
Corrsville, TN 37047
and/or by independent contractors

Permit/Seal:



Client/Project:

Cameron J. Coble, II
1028 Nashville Highway
Lewisburg, TN 37097

Multifamily Residential
915 Old Befast Road
3rd Civil District
Lewisburg, Marshall County, TN

Revisions:

Item: Date:

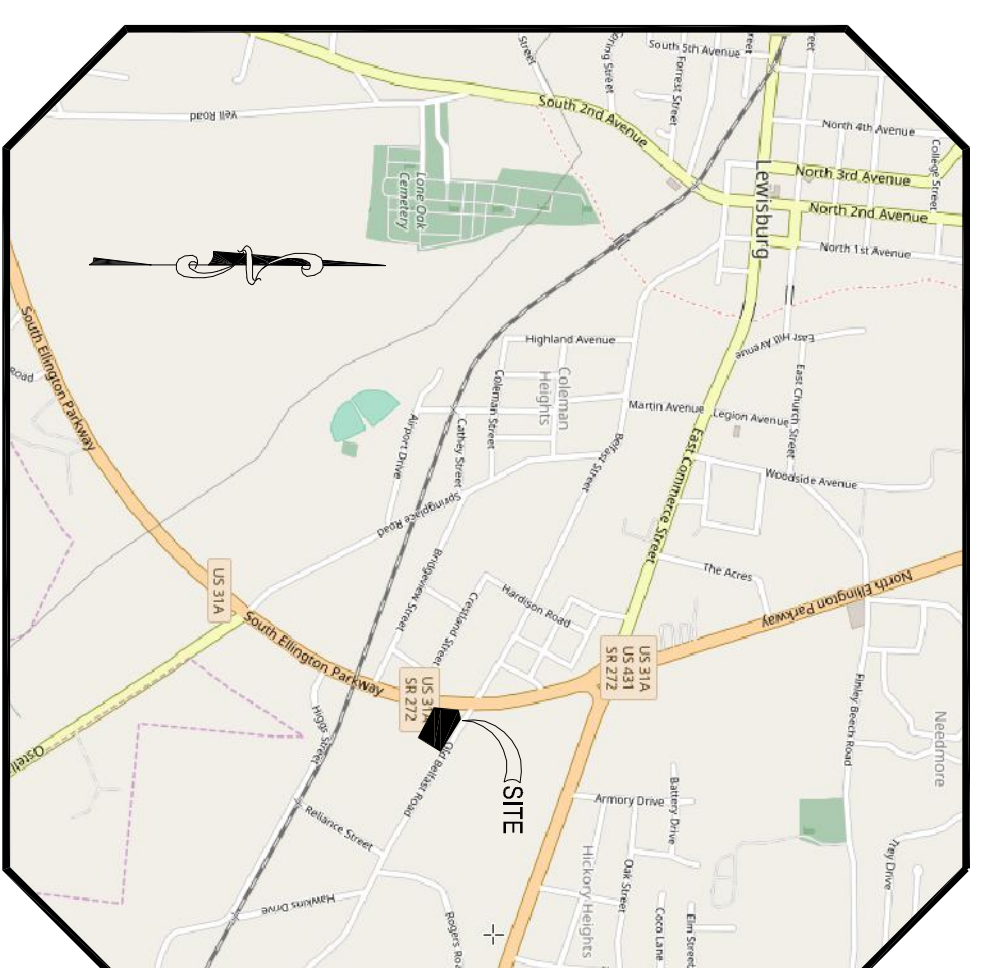
Project No.:
Designed By: DPF
Drawn By: DPF
Checked By: BH
Date: 8/24/22
Scale: AS NOTED

Title:
TITLE SHEET

Drawing No.

T1.0

CIVIL SITE CONSTRUCTION PLANS FOR PROPOSED MULTIFAMILY RESIDENTIAL DEVELOPMENT



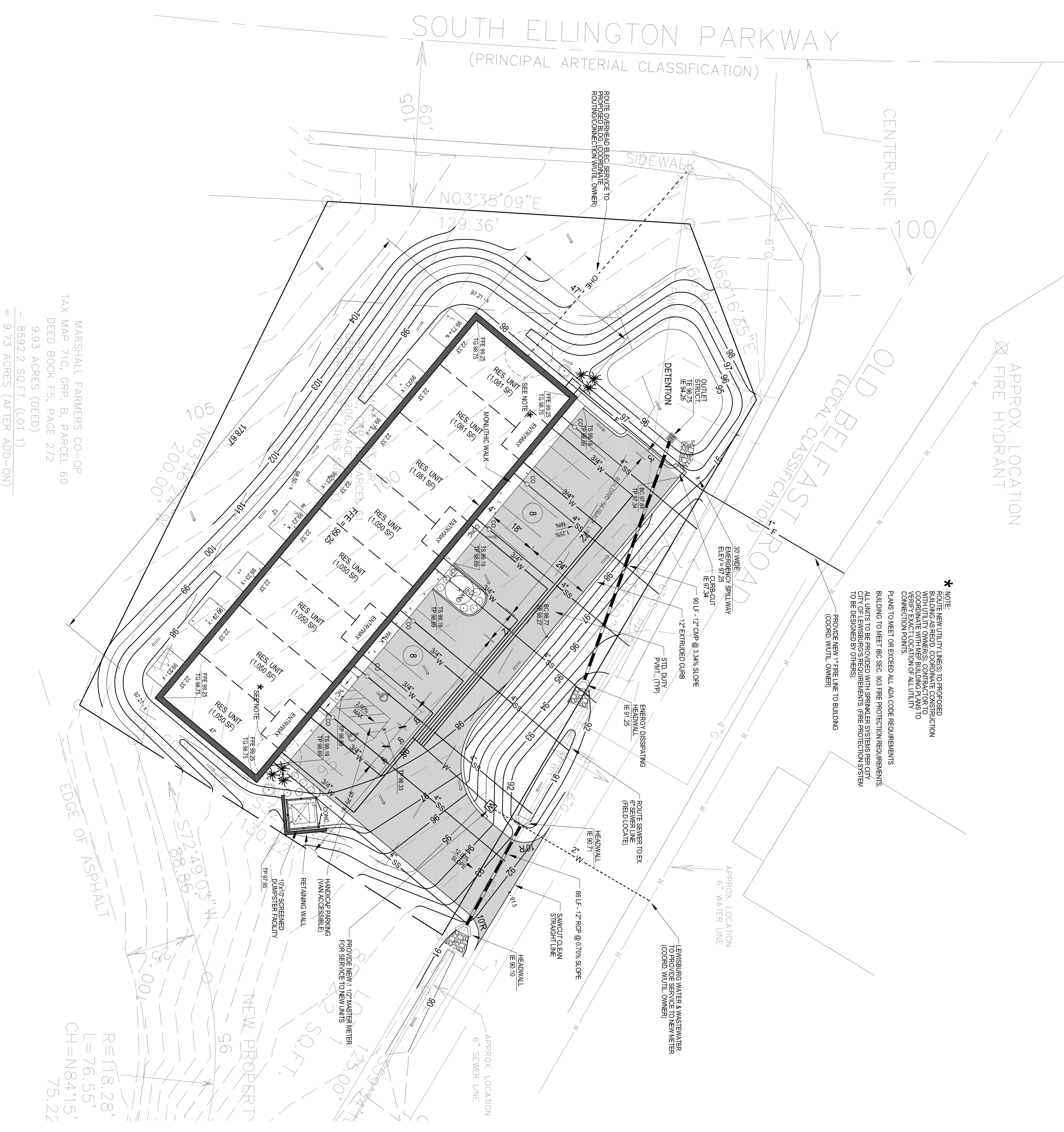
VICINITY MAP
(N.T.S.)

915 Old Befast Road
3rd Civil District
Lewisburg, Marshall County, Tennessee
Date: August 24, 2022

TOTAL DISTURBED AREA
= 37,676 SF (0.864 AC)

SHEET INDEX:

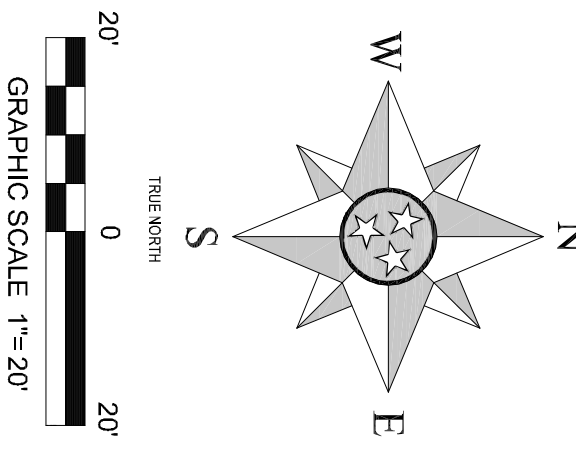
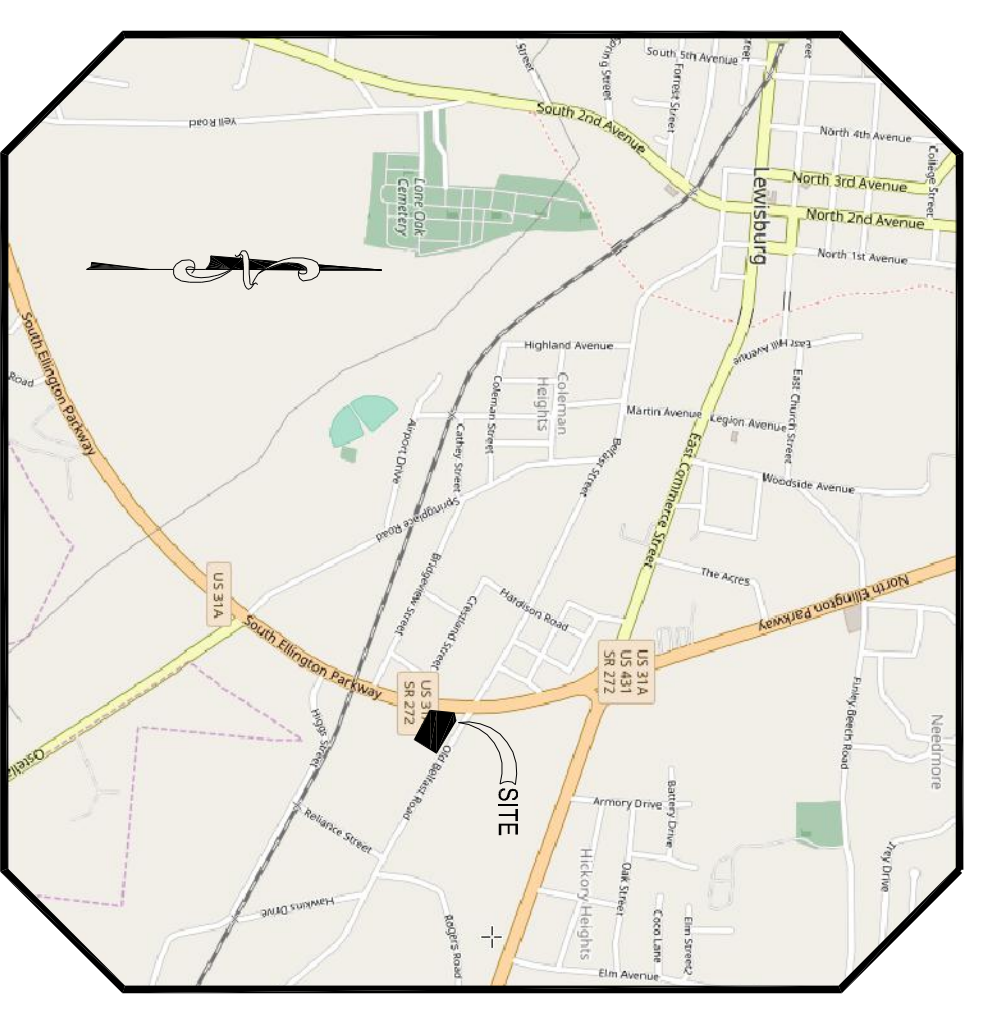
T1.0	TITLE SHEET
SP0.1	SITE PLAN
A0.1	BUILDING ELEVATIONS
CO.1	EXISTING CONDITIONS & DEMOLITION PLAN
C1.1	SITE LAYOUT & UTILITY PLAN
C2.1	SITE GRADING & DRAINAGE PLAN
C2.2	INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP)
C2.3	FINAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP)
C3.1	MISCELLANEOUS DETAILS
C3.2	MISCELLANEOUS DETAILS
C3.3	MISCELLANEOUS DETAILS



MARSHALL FARMERS CO-OP
TAX MAP 71C, GRP. B, PARCEL 60
DEED BOOK F5, PAGE 272
9.93 ACRES (DEED)
= 8592.2 SQ.FT. (LOT 1)
= 9.73 ACRES (AFTER ADD-ON)

$R=118.28'$
 $L=76.55'$
 $CH=N84.15'$
 $75.22'$

★ NOTE:
NEW UTILITIES TO APPROVED
BUILDING AS REQUIRED. COORDINATE CONSTRUCTION
WITH UTILITY OWNERS' CONTRACTORS TO
VERIFY EXACT LOCATION OF ALL UTILITIES
AND CONNECTION POINTS.
PLANS TO MEET OR EXCEED ALL ADA CODE REQUIREMENTS
BUILDING TO MEET B.C. SEC. 303 FIRE PROTECTION REQUIREMENTS
ALL UTILITIES TO BE PROVIDED WITH SPRINKLER SYSTEMS PER CITY
CITY OF LEWISBURG'S REQUIREMENTS (FIRE PROTECTION SYSTEM
TO BE DESIGNED BY OTHERS).
PROVIDE NEW 1" FIRE LINE TO BUILDING
(COORD. WITH UTILITY OWNERS)

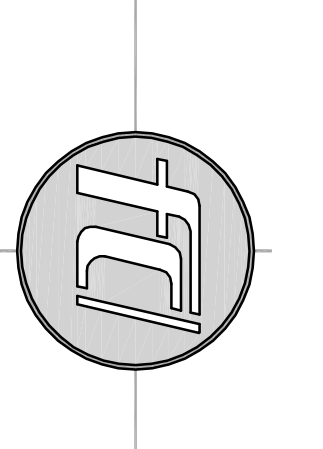


UTILITY NOTES AND OWNERS

The utility information shown herein was taken from actual field evidence, utility agency records, or any other available evidence. Other utilities may exist and may not be shown, or may vary from where shown. No guarantee is expressed or implied in regard to the utility locations shown herein. The Owner(s) and Contractor(s) should assume responsibility to verify utility existence, size, location, depth, and availability of service, and be solely responsible for contacting the utility location service prior to commencing construction.

Water Lewisburg Water & Wastewater 100 Water Street PO Box 2787 Lewisburg, TN 37091 931-359-4831	Electric Lewisburg Electric System 699 W. Ellington Pkwy Lewisburg, TN 37091 931-359-2944	Cable Charter Cable 1-855-672-6428 Telephone AT&T 1-800-628-9149
Gas Lewisburg Gas Company 505 W. Ellington Pkwy PO Box 2787 Lewisburg, TN 37091 931-359-4016	Public Works Lewising Public Works 577 W. Ellington Pkwy Lewisburg, TN 37091 931-359-3863	Telephone AT&T 1-800-628-9149

SITE DATA TABLE	PROPOSED
CURRENT OWNER: Cameron Coble II	
PROJECT ADDRESS: 1028 Nashville Hwy, Lewisburg, TN 37091	
MAP AND PARCEL: MAP 71C GROUP B, PARCEL 60, MARSHALL FARMERS CO-OP	
CITY: LEWISBURG	
COUNTY: MARSHALL COUNTY	
STATE: TENNESSEE	
FEMA COMMUNITY PANEL: 980 OULI DISTRICT	
PROPERTY ZONING: 110 (Special Use)	
TOTAL SITE ACRES: 9.93	10.26
FRONT YARD SETBACK: 35 FT	20 FT
REAR YARD SETBACK: 20 FT	20 FT
BUILDING AREA: 10,260 SQ.FT.	14,026 SQ.FT.
SITE ADDRESS: 1028 Nashville Hwy, Lewisburg, TN 37091	1028 Nashville Hwy, Lewisburg, TN 37091
PROPOSED STRUCTURE: MULTIFAMILY (RESIDENTIAL) TOTAL 1,400 SQ.FT. UNIT 14	14,026 SQ.FT. UNIT 14
MIN. LOT AREA: 10,260 SQ.FT.	14,026 SQ.FT.
PROPOSED PARKING: 18 SPACES	18 SPACES
PARKING REQUIREMENTS: 18 SPACES PER CATAGORY	18 SPACES PER CATAGORY
IMPASVMS SURFACE AREA (POST DEVELOPMENT): 18,448 SQ.FT.	18,448 SQ.FT.
PENNIOLA'S SURFACE AREA (TOTAL DISTURBED AREA): 18,448 SQ.FT.	18,448 SQ.FT.



Ferlisi
Civil Design
Consulting & Design Services
PO Box 1
Greenville, TN 37036

Permit Seal:
Cameron J. Coble II
1028 Nashville Highway
Lewisburg, TN 37097



Client/Project:
Cameron J. Coble, II
1028 Nashville Highway
Lewisburg, TN 37097

Multifamily Residential
915 Old Belcast Road
3rd Civil District
Lewisburg Marshall County, TN

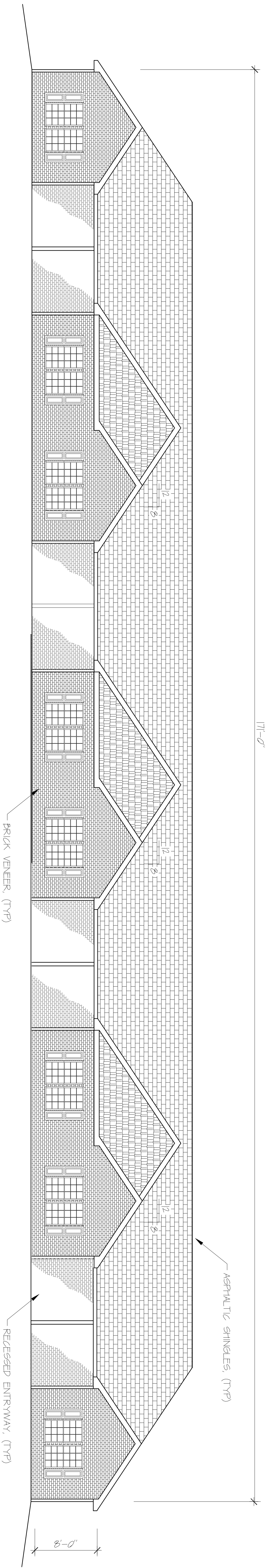
Revisions:
Item: _____ Date: _____

Project No.: _____
Designed By: DPF
Drawn By: DPF
Checked By: DPF
Date: 8/24/22

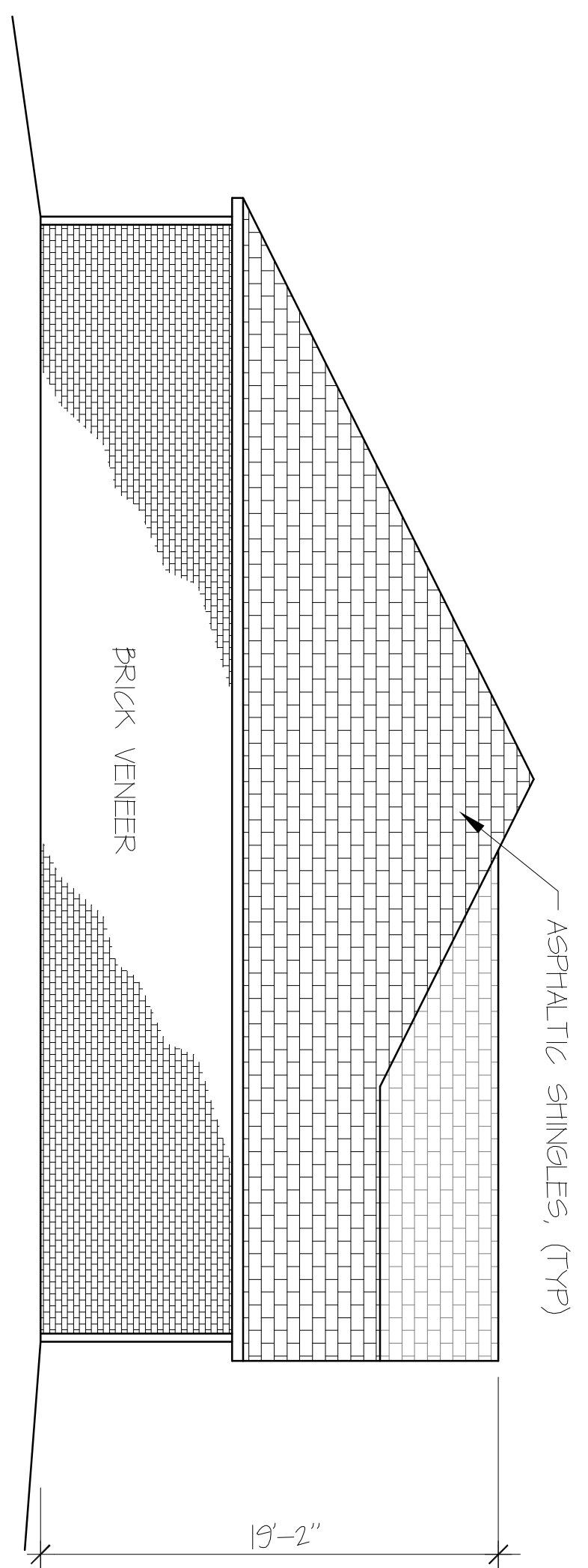
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Title: **SITE PLAN**

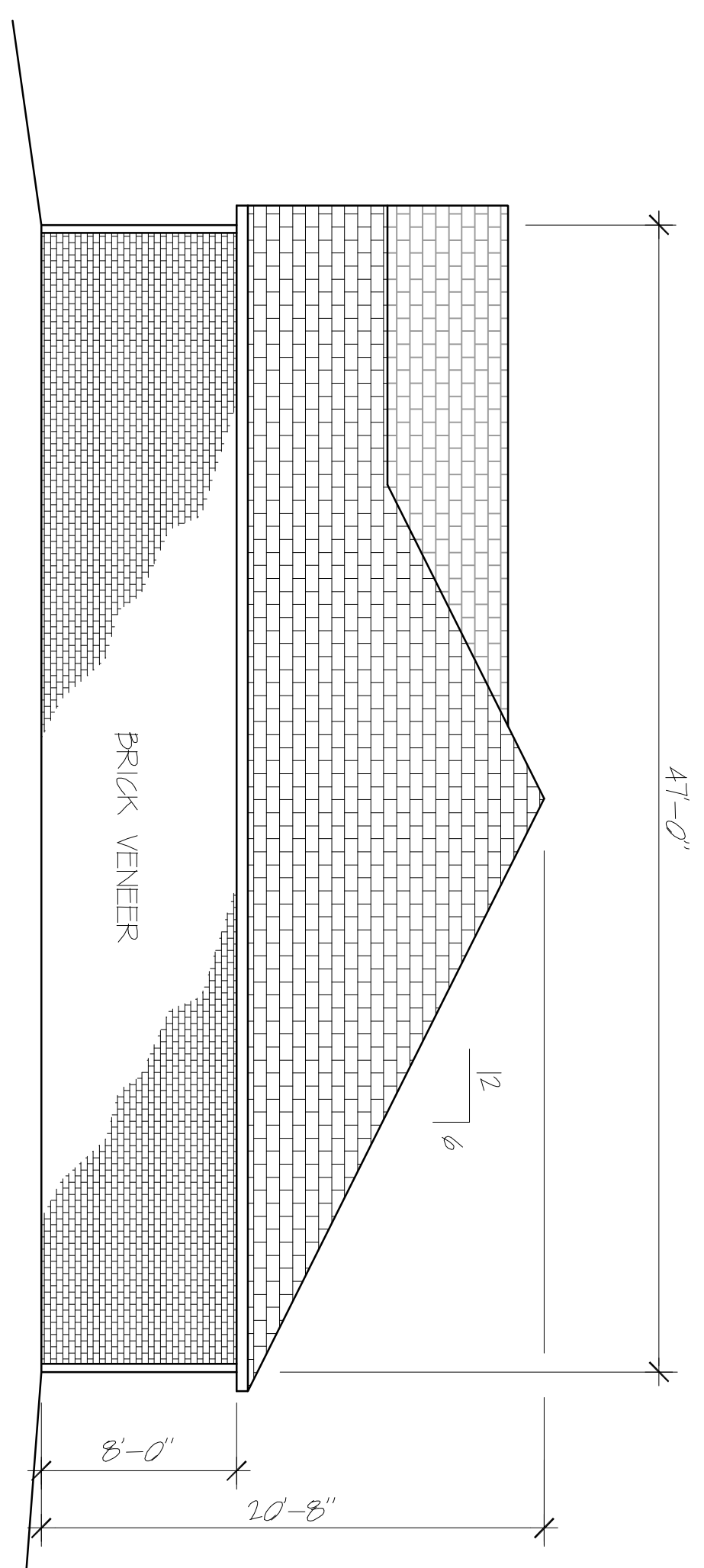
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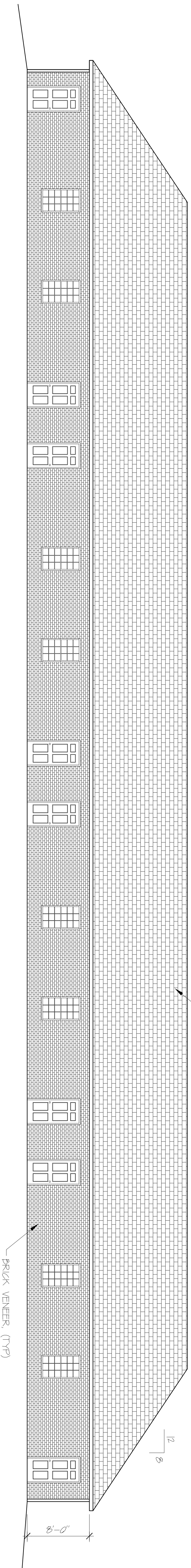
FRONT ELEVATION
NOT TO SCALE



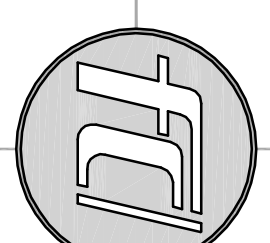
LEFT SIDE ELEVATION
NOT TO SCALE



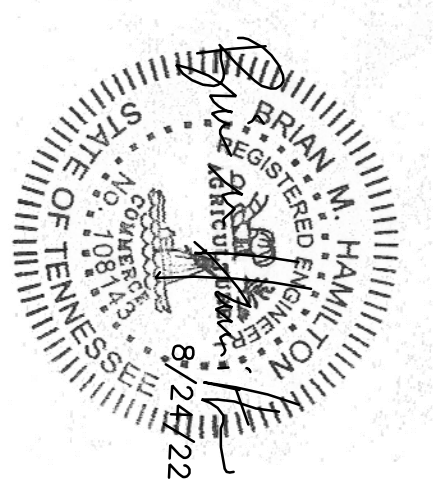
RIGHT SIDE ELEVATION
NOT TO SCALE



REAR ELEVATION
NOT TO SCALE



Fertlisi
Civil Design
Consulting & Design Services
P.O. Box 5
Cornersville, TN 37097
www.fertliscivil.com



Permit/Seal:

Client/Project:

Cameron J. Coble, II
1028 Nashville Highway
Lewisburg, TN 37097

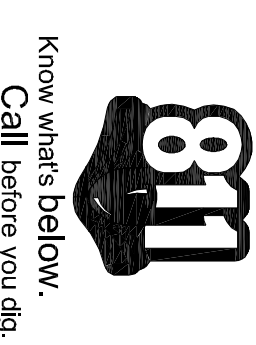
Multifamily Residential
915 Old Belfast Road
3rd Civil District
Lewisburg, Marshall County, TN

Revisions:
Item: Date:

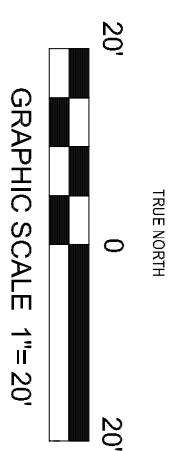
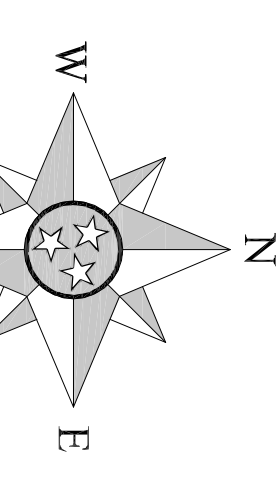
Project No.:
Designed By: DPF
Drawn By: DPF
Checked By: DPF
Date: 8/24/22
Scale: AS NOTED
Title: EXISTING CONDITIONS & DEMOLITION PLAN

Drawing No.

CO.1



Know what's below.
Call before you dig.



Developer:
Cameron J. Coble, II
1028 Nashville Hwy,
Cornersville, TN 37091
Contact: David Ferlisi
dferlisi@fertliscivil.com
ph: 931.637.7888

Surveyor:
Reese Land Surveying
112 East Commerce St.
Lewisburg, TN 37091
Contact: David Ferlisi
dferlisi@fertliscivil.com
ph: 931.625.2490

Call Consultant:
Fertlisi Civil Design
P.O. Box 5
Cornersville, TN 37047
Contact: David Ferlisi
dferlisi@fertliscivil.com
(615) 957-2238

In cooperation with:
ME
Nashville Civil LLC
1011 East Main Street
Nashville, TN 37203
(615) 259-2222

UTILITY NOTES AND OWNERS

The utility information shown hereon was taken from actual field evidence, utility agency records, or any other available evidence. Other utilities may exist and may not be shown, or may vary from where shown. No guarantee is expressed or implied in regard to the utility locations shown hereon. The Owner(s) and Contractor(s) should assume responsibility to verify utility existence, size, location, depth, and availability of service, and be solely responsible for contacting the utility location service prior to commencing construction.

- | | | | | | |
|-------|------------------------------|--------------|---------------------------|-------|----------------|
| Water | Lewisburg Water & Wastewater | Electric | Lewisburg Electric System | Cable | Charter Cable |
| | 100 Water Street | | 599 W. Ellington Hwy | | 1-855-571-2428 |
| | P.O. Box 2717 | | Lewisburg, TN 37091 | | Telephone |
| | Lewisburg, TN 37091 | | 931-359-2544 | | 931-359-2544 |
| | | Gas | Lewisburg Gas Company | | 1-800-626-9149 |
| Sewer | Lewisburg Water & Wastewater | | 5015 N. Ellington Hwy | | |
| | 100 Water Street | | Lewisburg, TN 37091 | | |
| | P.O. Box 2717 | | 931-359-4016 | | |
| | Lewisburg, TN 37091 | Public Works | Lewisburg Public Works | | |
| | | | Lewisburg, TN 37091 | | |
| | | | 931-359-3663 | | |

FLOOD NOTE

By graphic plotting only, this property is in Zone(s) "X" of the Flood Insurance Rate Map Community Panel No. 47117C0040D which bears an effective date of September 28, 2007. No field surveying was performed to determine this zone and an elevation certificate may be needed to verify this determination or apply for a variance from the Federal Emergency Management Agency.

DEED REFERENCE

Being the property recorded as Deed Book 206, Page 873 as recorded in the Register's Office, Marshall County, Tennessee.

PROPERTY MAP REFERENCE

This property currently identified as Parcel 61.00 of Group "B" on Tax Map 71C.

SITE DEMOLITION NOTES:

1. THE EXISTING CONDITIONS INDICATED ON THE DRAWINGS WERE OBTAINED FROM A TOPOGRAPHIC MAP PROVIDED BY THE SURVEYOR TO THE ENGINEER FOR USE IN ITS DESIGN. THE ENGINEER DOES NOT GUARANTEE OR IN ANY WAY WARRANT THE ACCURACY OR COMPLETENESS OF THE INDICATED EXISTING CONDITIONS INCLUDING BUT NOT LIMITED TO THE LOCATION, DEPTH, AND/OR INCLUSION OF ALL UTILITIES AND STRUCTURES SHOWN HEREON. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR FIELD VERIFYING THE PRESENCE, EXACT LOCATION & DEPTH OF ALL ANY EXISTING UTILITIES PRIOR TO PRICING, ORDERING MATERIALS AND COMMENCING WITH ANY CONSTRUCTION ACTIVITIES.
2. CONTRACTORS TO OBTAIN ALL NECESSARY LICENSES AND PERMITS PRIOR TO COMMENCING WITH CONSTRUCTION ACTIVITIES. CONTRACTOR TO PROVIDE ALL ASSOCIATED FEES AND COSTS.
3. CONTRACTORS TO CONTACT ALL UTILITY OWNERS TO ADJ IN IDENTIFYING & LOCATING EXISTING BURIED UTILITIES PRIOR TO COMMENCING WITH ANY CONSTRUCTION ACTIVITIES.
4. CONTRACTOR TO VERIFY THE PROJECT LIMITS AND FIELD CONDITIONS BEFORE BIDDING THIS PROJECT. NO EXTERNS WILL BE ALLOWED TO ANY IRREGULAR SURFACE CONDITIONS THAT MAY BE ENCOUNTERED ON THIS SITE.
5. ANY EXISTING PAVEMENT, SEWER/DRAINAGE STRUCTURES, UTILITIES, OR OTHER EXISTING STRUCTURES SHALL BE DEMOLISHED TO THE ORIGINAL CONDITION, EQUAL TO OR BETTER THAN THEIR ORIGINAL CONDITION, AT NO EXPENSE TO THE OWNER.
6. WHEN REQUIRED, SAWCUT ASPHALT PAVING ON SMOOTH AND STRAIGHT LINE AT THE BOUNDARY OF PAVEMENT TO REMAIN AND PAVEMENT TO BE REMOVED AND AT TYPICAL LOCATIONS OF NEW PAVT.
7. THE BURNING OF CONSTRUCTION DEBRIS OR TRASH ON THE OWNERS PROPERTY IS FORBIDDEN.
8. ALL DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF OFF THE OWNERS PROPERTY. ALL DEBRIS SHALL BE DISPOSED OF IN A LANDFILL LICENSED BY THE STATE TO RECEIVE THE SITES DEMOLITION DEBRIS.
9. COORDINATE REMOVAL/ADJUSTMENT OF ANY EXISTING MANHOLES, CATCH BASINS, METERS, VALVE BOXES, ETC. TO REMAIN WITHIN THE LIMITS OF CONSTRUCTION. THE LAYOUT, SCHEDULE & UTILTY PLANS CONTRACTOR TO COORDINATE WITH UTILITY OWNERS.
10. ALL TREES NOT WITHIN THE LIMITS OF CONSTRUCTION SHALL BE CLEAR YANDED AND PLACED TO REMAIN WITHIN THE LIMITS OF CONSTRUCTION SHALL BE EFFECTUALLY PROTECTED.

NOTE:
ALL WORK WITHIN THE RIGHT-OF-WAY SHALL CONFORM WITH ALL STANDARD SPECIFICATIONS & THE CURRENT EDITION OF THE MANUAL ON UNIFORM PRACTICE CONTROL DRAWINGS (MUTCD)



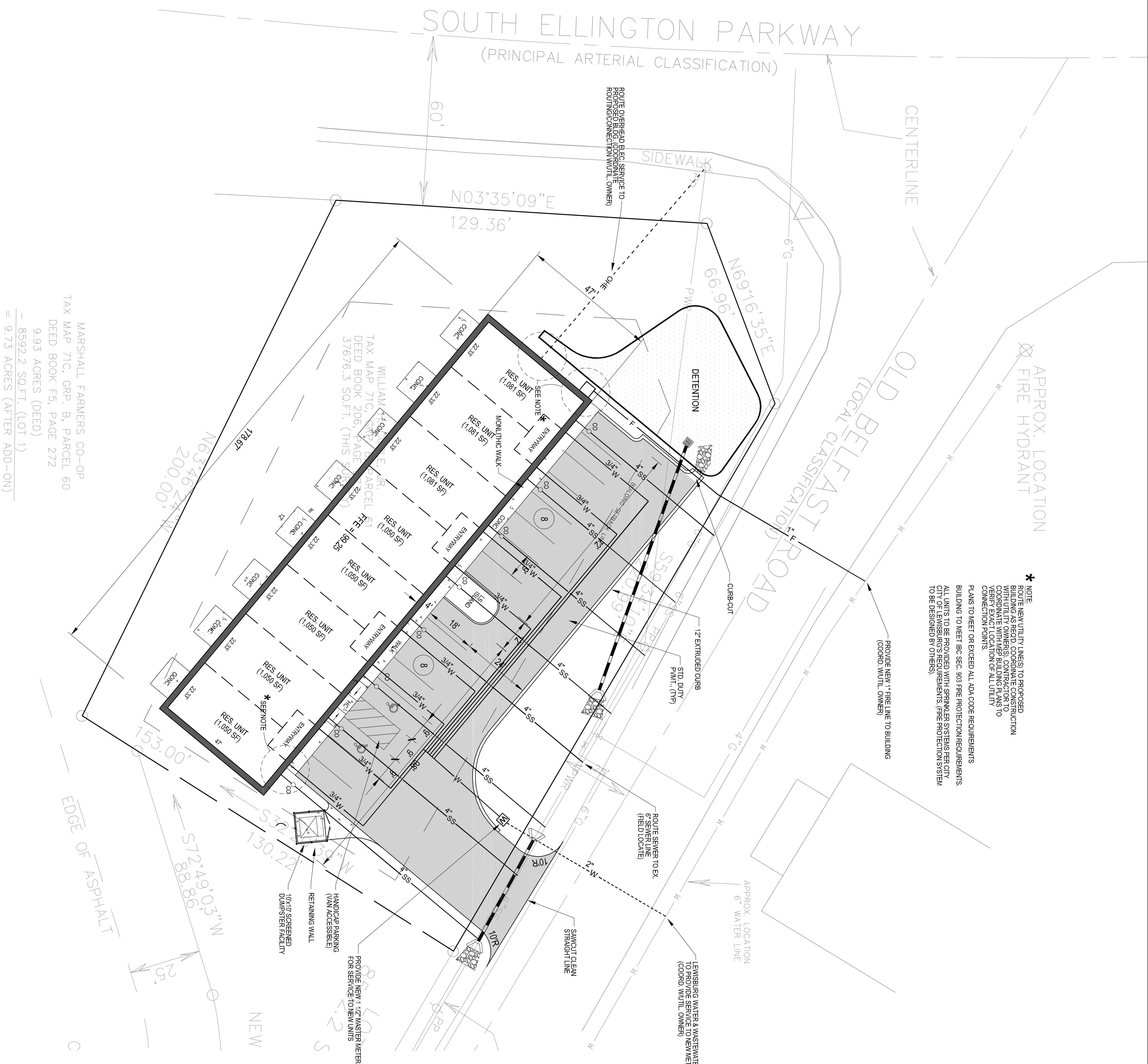
MARSHALL FARMERS CO.-OP
TAX MAP 71C, GRP. B, PARCEL 60
DEED BOOK F5, PAGE 272
9.93 ACRES (DEED)
= 85922.2 SQ.FT. (LOT 1)
= 9.73 ACRES (AFTER ADD-ON)

UTILITY NOTES:

1. CONTRACTOR TO VERIFY ALL UTILITY ELEVATIONS, LOCATIONS, AND DEPTHS BEFORE BEGINNING CONSTRUCTION. THE OWNER DOES NOT ASSUME RESPONSIBILITY FOR THE POSSIBILITY THAT UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED OR THAT THE ACTUAL UTILITY LOCATIONS MAY BE DIFFERENT FROM THE LOCATIONS DESIGNATED ON THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DEPTH, AND DEPTHS OF ALL UTILITIES THROUGH THE USE OF APPROPRIATE LABOR AND TOOLS TO EITHER VERIFY, AND SUBSTANTIATE OR DEFINITELY ESTABLISH THE UNDERGROUND UTILITY POSITIONS.
2. CONTRACTOR TO CONTACT TENNESSEE ONE CALL, A MINIMUM OF 48 HOURS PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES TO AID IN IDENTIFYING AND LOCATING ANY EXISTING SHARED UTILITIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LICENSE(S) AND PERMIT(S) PRIOR TO COMMENCING WITH-ON-SITE CONSTRUCTION ACTIVITIES AS WELL AS REQUIRED TO PERFORM ANY CONSTRUCTION WORK UNDER ANY AND ALL APPLICABLE RIGHT-OF-WAY. CONTRACTOR TO PROVIDE ALL ASSOCIATED FEES AND COSTS.
4. ALL EXISTING UTILITIES INCLUDING, VALVES(S) & BOXES, WATER & SEWER MAINS & SERVICES, WETTER BOXES, VAULTS, MANHOLES, UTILITY POLES, TELEPHONE, FIBER OPTICS, ETC. WITHIN THE PROJECT LIMITS ARE TO BE MAINTAINED AS MUCH AS POSSIBLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING AND COORDINATING WITH TDDT AND THE APPROPRIATE UTILITY OWNERS. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPROPRIATE UTILITY OWNERS' SPECIFICATIONS AND STANDARD DETAILS. THE ASSOCIATED COST OF UTILITIES ADJUSTMENT (REGARDLESS OF INDICATION ON THESE PLANS) SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL MATERIALS, INSTALLATION AND INSPECTION OF WATER AND/OR SANITARY SEWER MAINS, LATERALS, METERS OR OTHER PROPERTY THAT EXCEED THE MINIMUM LOCAL AND STATE REQUIREMENTS.
6. ANY WATER WORKS, MAINS, LATERALS, METERS OR OTHER PROPERTY THAT IS DAMAGED OR DESTROYED SHALL BE PROMPTLY REPLACED OR REPAIRED IN A SATISFACTORY MANNER EQUAL TO OR BETTER THAN ITS PREVIOUS CONDITION.
7. ANY FIRE HYDRANT THAT IS RECOATED, RESET OR ADJUSTED SHALL NOT BE KEPT OUT OF SERVICE FOR MORE THAN 48 HOURS.
8. ANY MANHOLES NEEDING TO BE ADJUSTED TO FINAL GRADE SHALL BE BY BRICK AND MORTAR OR BY PRECAST EXTENSIONS. HOWEVER, NO MANHOLE EXTENSION SHALL EXCEED MORE THAN 2'-0" FEET OF CHIMNEY AS MEASURED FROM THE FINISHED GRADE TO THE POINT WHERE THE MANHOLE STARTS TO INCREASE IN SIZE.
9. THE CONTRACTOR SHALL AT NO TIME ALLOW GROUND AND STORM WATER TO BE PUT INTO THE SANITARY SEWER MAINHOLES, WATER MAINS AND LATERALS.
10. THE DEVELOPER SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH WATER & SEWER TAPS AS REQUIRED BY LEWISBURG WATER & SEWER.

SITE PARKING LOT

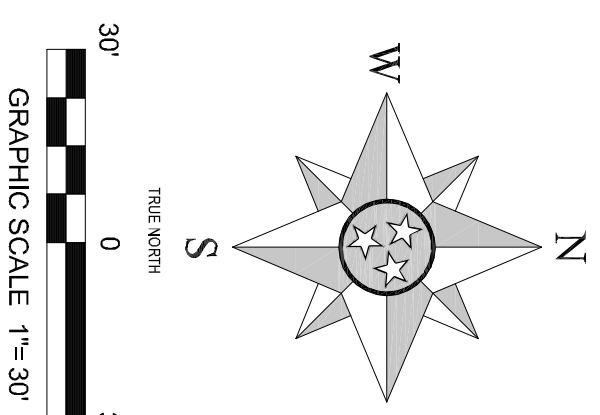
1. USE PARKING SPECIFICATIONS NOTED ELSEWHERE IN THESE PLANS UNLESS A CERTIFIED GEOTECH REPORT IS PROVIDED BY THE DEVELOPER WHICH SPECIFIES AN ALTERNATIVE REQUIREMENT.
2. PROVIDE PARKING LOT IN GOOD CONDITION, PROPERLY STRIPPED WITH A MINIMUM OF 1" OF ASPHALT SURFACE. PROVIDE 12" WIDE SIDEWALKS AND A MINIMUM OF (2) HANDICAP ACCESSIBLE SPACES (UNLESS OTHERWISE INDICATED ON PLANS). HANDICAP SPACES SHALL BE PROPERLY MARKED, SIGNED, AND ADA COMPLIANT.
3. PROVIDE ACCESS FOR DOLLAR GENERAL'S, FREIGHT TRUCKS, 1 1/2" TOTAL LENGTHS REQUIRED DURING NORMAL BUSINESS HOURS. TRUCK PATH TO BE FREE OF LANDSCAPE ISLANDS, SIGNS, LIGHT POLES, AND OTHER BARRIERS WHILE MAINTAINING WIDE RADIUS CURVES ON ALL ENTRANCES AND EXITS. HEAVY DUTY PAVING IS REQUIRED IN ALL TRAVELWAYS.
4. PROVIDE PROPER PROTECTION (COLLARS, GUARD RAILS, OR EQUIVALENT) FOR ELECTRIC, GAS, HVAC, AND WATER METERS THAT ARE IN POTENTIALLY HAZARDOUS LOCATIONS.
5. CONTRACTOR WILL COMPLETE ALL SITE WORK, FINAL GRADING, LANDSCAPING, SEEDING, PAVING, STORM WATER DETENTION POUNDS WHEN REQUIRED, AND REMOVAL OF DEBRIS.
6. PROVIDE AND INSTALL CONCRETE SPLASH BLOCKS AT ALL UNPAVED DOWN SPOUT LOCATIONS.
7. ROUTE DOWN SPOUTS UNDER SIDEWALKS (SEE DETAILS) AT ALL SIDEWALK LOCATIONS.
8. NO PARKING STOPS SHALL BE PROVIDED IN FRONT OF OR DIRECTLY ADJACENT TO THE BUILDING CURBING OR CONCRETE PARKING STOPS SHOULD BE LOCATED AT PERIMETER PARKING ZONES ONLY.
9. EROSION CONTROL SHALL BE PROVIDED BY THE CONTRACTOR AS INDICATED ON THE STORM WATER POLLUTION PREVENTION PLAN(S) (SWPPP) REQUIREMENTS IN THIS SET OF PLANS. SEE SWPPP FOR ALL EROSION CONTROL REQUIREMENTS.
10. THE DUMPSTER ENCLOSURE MUST BE A MINIMUM OF 18" WIDE X 12" DEEP. ENCLOSURE MATERIAL AS PER LOCAL REQUIREMENTS (AS REQUIRED).



MARSHALL FARMERS CO-OP
TAX MAP 71C, GRP. B, PARCEL 60
DEED BOOK F5, PAGE 272
9.93 ACRES (DEED)
= 8592.2 SQ.FT. (LOT 1)
= 9.73 ACRES (AFTER ADD-ON)

APPROX. LOCATION
FIRE HYDRANT

*** NOTE**
ROUTE NEW UTILITY LINES TO PROPOSED BUILDING TO MEET IBC SEC. 903 FIRE PROTECTION REQUIREMENTS. ALL UNITS TO BE PROVIDED WITH SPRINKLER SYSTEMS PER CITY REQUIREMENTS. CONTRACTOR TO COORDINATE WITH FIRE BUILDING PLANS TO PROVIDE CONNECTION POINTS.
PLANS TO MEET OR EXCEED ALL ADA CODE REQUIREMENTS.



UTILITY NOTES AND OWNERS

The utility information shown herein was taken from actual field evidence, utility agency records, or other reliable evidence. Other utility lines, old and not shown, and/or any utility locations shown hereon, the Owner(s) and Contractor(s) should assume responsibility to verify utility existence, size, location, depth, and availability of service, and be solely responsible for contacting the utility location service prior to commencing construction.

Utility	Owner/Service	Contact Information
Water	Lewisburg Water & Wastewater	599 W. Ellington Pkwy Lewisburg, TN 37091 931-559-2544
Electric	Lewisburg Electric System	599 W. Ellington Pkwy Lewisburg, TN 37091 931-559-2544
Gas	Lewisburg Gas Company	505 N. Ellington Pkwy PO Box 2787 Lewisburg, TN 37091 931-559-4016
Cable	Charter Cable	1-800-628-9149
Public Works	Lewisburg Public Works	Lewisburg, TN 37091 931-559-3883

FLOOD NOTE

By graphic plotting only, this property is in Zone(s) "X" of the Flood Insurance Rate Map (FIRM) effective September 28, 2007. No field surveying was performed to determine this zone and an elevation certificate may be needed to verify this determination or apply for a variance from the Federal Emergency Management Agency.

DEED REFERENCE

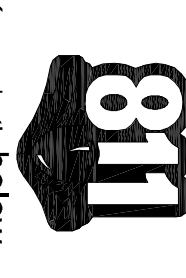
Being the property recorded as Deed Book 206, Page 873 as recorded in the Register's Office, Marshall County, Tennessee.

PROPERTY MAP REFERENCE

This property currently identified as Parcel 61.00 of Group "B" on Tax Map 71C.

SITE LAYOUT NOTES:

1. DIMENSIONS INDICATED ON PLANS ARE TO FACE OF CURB, EDGE OF SIDEWALK OUTSIDE FACE OF BUILDING, OR EDGE OF PAVEMENT UNLESS OTHERWISE INDICATED ON PLAN.
2. ALL COORDINATES (IF SHOWN) & BEARINGS ARE BASED ON AN ASSUMED COORDINATE SYSTEM UNLESS OTHERWISE NOTED.
3. SCORE SIDEWALKS TRANSVERSELY AT SPACINGS EQUAL TO WIDTH UNLESS OTHERWISE NOTED. SIDEWALKS SHALL BE MAXIMUM OF 40 FEET O.C. AT POINTS WHERE THE SIDEWALK ABUTS OTHER STRUCTURES AND/OR AS INDICATED ON THE PLANS.
4. ALL TRAFFIC SIGNS ARE TO BE REFLECTIVE/COMPLIANT WITH CURRENT MANUAL ON MANUAL TRAFFIC CONTROL DEVICES (MUTCD) AND SHALL COMPLY WITH TDDT REQUIREMENTS.
5. UNLESS OTHERWISE INDICATED ON PLANS, ALL PAINTED STANDARD PARKING SPACES & ISLAND STRIPING SHALL FOR ASPHALT & CONCRETE PAVEMENT SHALL BE REFLECTIVE TYPE. COLOR: YELLOW. ALL ADA ACCESSIBLE PARKING SPACES AND STRIPING SHALL BE REFLECTIVE TYPE. COLOR: WHITE. REFLECTIVE TYPE SHALL BE REFLECTIVE TYPE. COLOR: WHITE. STRIPING AND TRAFFIC SIGNS SHALL BE REFLECTIVE TYPE. COLOR: WHITE. TRAFFIC LANE STRIPING BETWEEN EXIT LANES SHALL BE 4" REFLECTIVE TYPE. COLOR: WHITE. TRAFFIC LANE STRIPING BETWEEN ACCESS & EXIT LANES SHALL BE DEL. 4" REFLECTIVE TYPE. COLOR: YELLOW.
6. PAINTED FIRE LANE STRIPING OR PAINTED CURBS SHALL BE PROVIDED AS REQUIRED BY LOCAL JURISDICTIONAL REQUIREMENTS.
7. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO ADJACENT PROPERTIES & EXISTING UTILITIES DURING CONSTRUCTION AND SHALL BE HELD SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGES THAT MAY OCCUR DURING CONSTRUCTION ACTIVITIES.
8. THE CONTRACTOR SHALL BE HELD SOLELY RESPONSIBLE FOR JOB SITE CONDITIONS, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING DURATION OF CONSTRUCTION. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND IS NOT LIMITED TO NORMAL WORKING HOURS.
9. SURPLUS MATERIAL, NOT REQUIRED TO COMPLETE SITE CONSTRUCTION SHALL BE FIRST OFFERED TO THE OWNER. SURPLUS MATERIAL, NOT ACCEPTED BY THE OWNER SHALL THEN BE DISPOSED OF BY THE CONTRACTOR AT HIS OWN EXPENSE FOLLOWING OWNER'S APPROVAL.
10. PROVISIONS FOR LOCAL LANDSCAPING REQUIREMENTS, INCLUDING LANDSCAPING IRRIGATION ARE NOT SHOWN UNLESS INCLUDED IN SCOPE ON THESE PLANS. THE DEVELOPER IS ULTIMATELY RESPONSIBLE FOR PROVIDING LANDSCAPING PLANS IN ACCORDANCE WITH ANY LOCAL CODE REQUIREMENTS AS REQUIRED.



Designer:
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1028 Nashville Hwy,
Lewisburg, TN 37091
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cjcoble@gmail.com

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Contact: Todd Pease, P.L.S.
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tpease@reedland.com

Civil Consultant:
P.O. Box 5
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ferlisci@ferlisci.com
ferliscidesign@gmail.com
(615) 597-2335

In cooperation with:
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Civil Design & Engineering
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Nashville, TN 37203
(615) 259-1111

Fertlisci Civil Design
Consulting & Design Services
Commercial & Residential
1000 East Main Street
Nashville, TN 37203

Permit Seal:
Cameron J. Coble, II
Professional Engineer
No. 24417
State of Tennessee
Exp. 12/31/2025

Client/Project:
Cameron J. Coble, II
1028 Nashville Highway
Lewisburg, TN 37097

Multifamily Residential
915 Old Belfast Road
3rd Civil District
Lewisburg, Marshall County, TN

Revisions:
Item: Date:

Project No.:
Designed By: DPF
Drawn By: DPF
Checked By: DPF
Date: 8/24/22

Scale: AS NOTED

Title:
SITE LAYOUT & UTILITY PLAN

Drawing No. **C1.1**

During construction, measures should be taken to promote runoff from the graded areas... These include: (1) preventing runoff from the site; (2) preventing runoff from the site to adjacent areas...

- Any organic materials and/or debris discovered shall be thoroughly removed to full depth.
• Any exposed structure at any location shall be thoroughly removed to full depth.
• Sufficient structural fill should be used to provide all pavement and building areas but not necessarily required in grass areas.

4.2 FOUNDATION AND SLAB

At the time of construction, exposed footing should be tested to confirm the bearing strength. The construction drawings should indicate the required bearing strength used by the foundation systems designer.

Table 2. Maximum Allowable Average Settlement of Some Structures. Columns: Type of Structure, Settlement (inches).

- (a) Plain brick walls (length/height greater or equal to 2.5)
Plan brick walls (length/height less than or equal to 1.5)
Framed structure

The backfill material recommended to be used in retaining walls is a free draining, open grade stone, TDOT No. 57 stone or similar with a pit angle of 30o (or larger). The assumed average unit weight and soil water content shall be used.

Passive Earth Retention Coefficient, Kps is 1.88 with a Ks of 1.5 Kps is 1.22. The soil engineering characteristics, i.e. the pit angles are assumed and based on reasonable that may differ from the soil and soil mixture listed above.

Typical design modulus of subgrade reaction (k) values for well compacted cohesive soil fill range from 100 to 125 pounds per cubic inch (for consistency 100 psi is recommended). Prior to slab concrete placement, the subgrade soils should be checked to verify that weather related conditions, and other construction activities have not negatively impacted the subgrade soils.

Typical design modulus of subgrade reaction (k) values for well compacted cohesive soil fill range from 100 to 125 pounds per cubic inch (for consistency 100 psi is recommended). Prior to slab concrete placement, the subgrade soils should be checked to verify that weather related conditions, and other construction activities have not negatively impacted the subgrade soils.

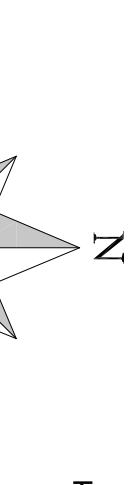
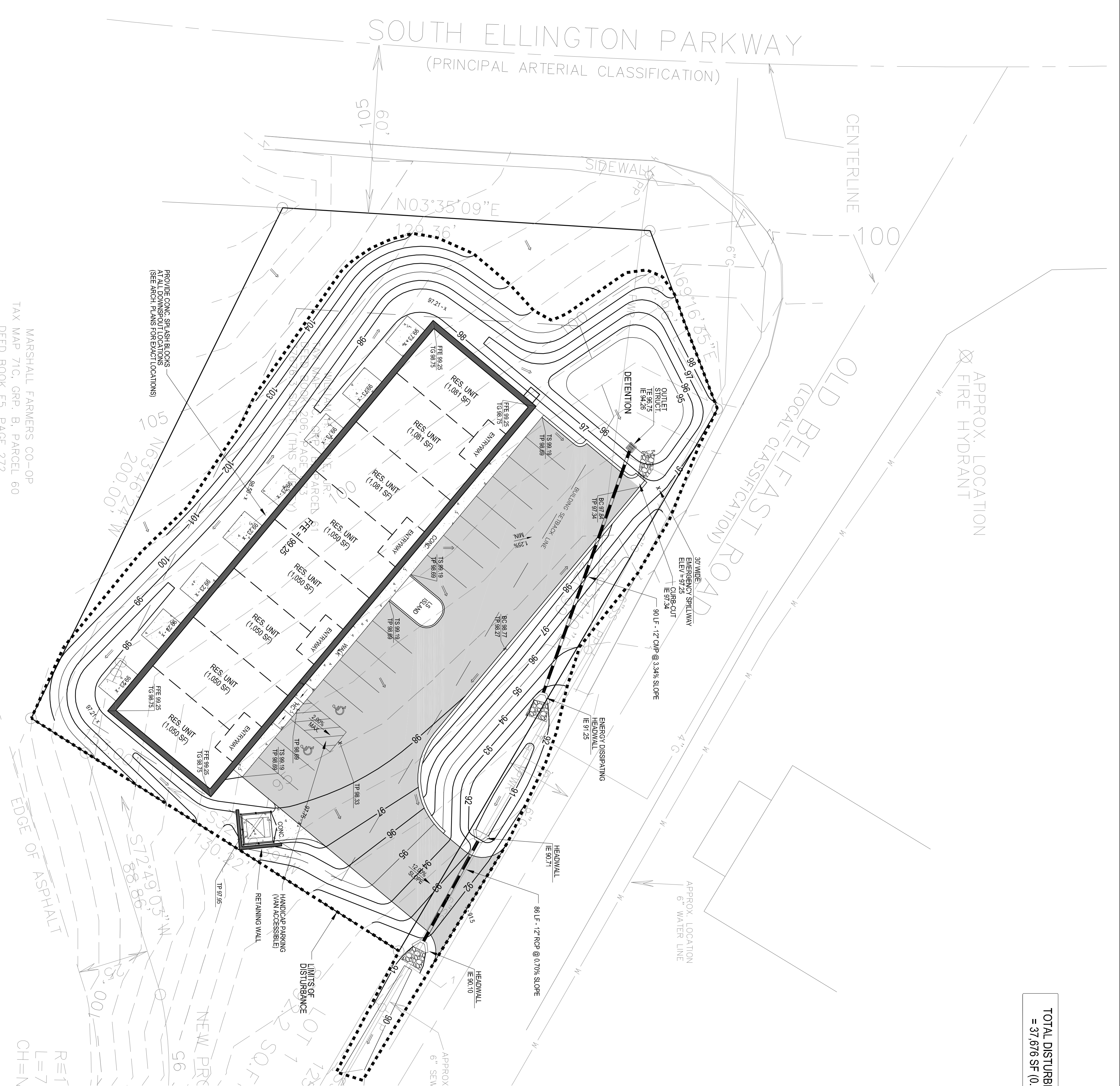
Please note that for this project a base course should not be necessary. The bituminous base course should normally be placed under the binder from a major road/highway. The following are the typical base course types used in the geographic region of the project with minimum safety of 2000 pounds.

- Marshall stability 1000 lbs
• Binder Course (similar to TDOT Mix 307 grading BMD) 2.0 inches
• Marshall stability 1000 lbs
• Voids total mix 3.7%

The above section is to be amended to increase the "Binder Course" to 3.0 inches, and the "Wearing Course" to 2.0 inches for delivery truck and refuse removal truck access routes.

In the event that a standard duty & heavy-duty section is desired to be utilized in lieu of the asphalt section, the subgrade should be compacted to a minimum of 95% relative compaction. The details are shown on sheet C-11 with an 18 inch thick 400-psi concrete (5% air entrainment) over a compacted base for use as "Standard Duty" rigid pavement, & 6-inch thick 400-psi concrete (5% air entrainment) over 6" compacted base for use as "Heavy Duty" rigid pavement.

TOTAL DISTURBED AREA = 37,676 SF (0.864 AC)



Know what's below. Call before you dig.

UTILITY NOTES AND OWNERS

- Water: Lewisburg Water & Wastewater, 100 Water Street, Lewisburg, TN 37091
Electric: Lewisburg Electric System, 599 W. Ellington Pkwy, Lewisburg, TN 37091
Cable: Charter Cable, 1-855-872-2428

FLOOD NOTE

By graphic plotting only, this property is in Zone(s) 'X' of the Flood Insurance Rate Map Community Panel No. 47111C004D0 which bears an effective date of September 28, 2007. No field surveying was performed to determine this zone and an elevation certificate may be needed to verify this determination or apply for a variance from the Federal Emergency Management Agency.

SITE GRADING & DRAINAGE NOTES:

- 1. THE EXISTING CONDITIONS INDICATED ON THE PLANS WERE OBTAINED FROM A PHOTO SURVEY AND FIELD OBSERVATION. THE ENGINEER DOES NOT GUARANTEE OR IN ANY WAY WARRANT THE ACCURACY OR COMPLETENESS OF THE INDICATED EXISTING TOPOGRAPHIC INFORMATION SHOWN HEREIN, INCLUDING THE INDICATED LOCATION & DEPTH OF ALL EXISTING UTILITIES WITHIN AND AROUND THE LIMITS OF CONSTRUCTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR FIELD VERIFYING THE PRESENCE, EXACT LOCATION & DEPTH OF ALL EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCING CONSTRUCTION WITH CONSTRUCTION ACTIVITIES.

Client/Project: Cameron J. Coble, 11 1028 Nashville Highway, Lewisburg, TN 37097. Includes Ferlisi Civil Design logo and contact information.

Site plan title block: SITE GRADING & DRAINAGE PLAN, Scale: AS NOTED, Date: 8/24/22, Designer: DPF, Checked By: DPF.

GENERAL NOTES:

- EXTRA MEASURES MAY BE NEEDED IF SITE:
 - IS WITHIN 1000 FEET OF A LAKE OR WETLAND
 - IS STEEP SLOPE (SLOPE OF 12% OR GREATER)
 - RECEIVES RUNOFF FROM 10,000 SQ. FT. OR MORE OF ADJACENT LAND
 - HAS MORE THAN AN ACRE OF DISTURBED GROUND
- PRESERVING EXISTING VEGETATION:
 - WHENEVER POSSIBLE, PRESERVE EXISTING TREES, SHRUBS, AND OTHER VEGETATION TO PREVENT ROOT DAMAGE DO NOT GRADE, PLACE SOIL PILES, OR PARK VEHICLES NEAR TREES MARKED FOR PRESERVATION.
- REVEGETATION:
 - DISTURBED SOILS SHALL BE STABILIZED AS QUICK AS PRACTICAL WITH TEMPORARY VEGETATION AND GRASS MULCHING TO PROTECT EXPOSED CRITICAL AREAS DURING DEVELOPMENT
 - TEMPORARY VEGETATION SHALL BE MAINTAINED AT A RATE OF 2.3 BALES STRAW/PER 1000 SQ. FT.
- DOWNSPROUT EXTENDERS:
 - NOT REQUIRED BUT HIGHLY RECOMMENDED
 - MUST BE AS SOON AS GUTTERS AND DOWNSPOUTS ROUTE WATER TO GRASSSED AREA
 - MAINTAIN UNTIL LAWN IS ESTABLISHED
- POST CONSTRUCTION SLOPE STABILIZATION:
 - 1. SLOPES SHOWN HEREON TO BE STABILIZED FOR 30 DAYS AFTER COMPLETION OF CONSTRUCTION
 - 2. SLOPES SHOWN HEREON TO BE STABILIZED WITH NORTH AMERICAN GREEN SC50 EROSION CONTROL BLANKET OR APPROVED SUBSTITUTE STABLE PATTERN "D"

EROSION & SEDIMENT CONTROL NOTES:

1. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL & STATE STORMWATER ORDINANCES FOR GRADING AND EROSION AND SEDIMENT CONTROL FOR THE MEASURES SHOWN OR STATED ON THESE PLANS.
2. CONTRACTOR MUST ENSURE THAT THE CONSTRUCTION SITE IS PREPARED PRIOR TO THE ONSET OF ANY STORM. CONTRACTOR SHALL TO COMBATING WITH CONSTRUCTION ACTIVITIES.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREA ARE STABILIZED. CHANGES TO THIS EROSION AND SEDIMENT CONTROL PLAN SHALL BE MADE TO MEET FIELD CONDITIONS AS REQUIRED TO PREVENT EROSION & SEDIMENT FROM LEAVING THE LIMITS OF THE PROPERTY.
4. THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT ARISES DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS MAY BE MADE TO THE PLAN IN THE FIELD SUBJECT TO THE APPROVAL OF OR AT THE DIRECTION OF A REPRESENTATIVE OF THE DEPARTMENT OF UTILITIES.
5. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED BEFORE AND AFTER ALL STORMS TO INSURE MEASURES ARE FUNCTIONING PROPERLY.
6. CONTRACTOR SHALL MAINTAIN A LOG AT SITE OF ALL INSPECTIONS OF MAINTENANCE OF BMPs AS WELL AS ANY CORRECTIVE CHANGES TO THE BMPs OR EROSION AND SEDIMENT CONTROL PLAN & SHALL OTHERWISE COMPLY WITH ALL TDEC REQUIREMENTS FOR BMPs.
7. IN AREAS WHERE SOIL IS EXPOSED PRIOR TO BE PLANTED WITH NATIVE COMPATIBLE DROUGHT RESISTANT VEGETATION SHALL BE PERFORMED. NO AREAS WILL BE LEFT EXPOSED OVER THE WINTER SEASON.
8. THE CONTRACTOR SHALL INSTALL THE STABILIZED CONSTRUCTION ENTRANCE PRIOR TO COMMENCEMENT OF GRADING. LOCATION OF THE ENTRANCE MAY BE ADJUSTED BY THE CONTRACTOR TO RELATE TO THE EXISTING DRIVEWAY. THE CONTRACTOR SHALL MAINTAIN THE STABILIZED ROAD MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCE. THE STABILIZED CONSTRUCTION ENTRANCE SHALL REMAIN IN PLACE UNTIL THE ROAD BASE ROCK COURSE IS COMPLETE.
9. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE SWEEP AT THE END OF EACH WORK DAY OR AS NECESSARY.
10. CONTRACTOR SHALL PLACE EROSION CONTROL MEASURES AROUND ALL NEW DRAINAGE STRUCTURE OPENINGS IMMEDIATELY AFTER THE STRUCTURE OPENING IS CONSTRUCTED. THE EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE.
11. CONTRACTOR SHALL IMPLEMENT HOUSEKEEPING PRACTICES AS FOLLOWS:
 - A. CONCRETE WASTE:
 - PROVIDE A DESIGNATED AREA FOR A TEMPORARY PIT TO BE USED FOR CONCRETE TRUCK WASH-OFF. DISPOSE OF HARDENED CONCRETE OFFSITE. AT NO TIME SHALL A CONCRETE TRUCK DUMP ITS WASTE AND CLEAN ITS TRUCK INTO THE CITY STORM DRAINS VIA CURB AND GUTTER. INSPECT DAILY TO CONTROL RUNOFF AND WEARLY FOR REMOVAL OF HARDENED CONCRETE.
 - B. PAINT AND PAINTING WASTES:
 - PAINT AND PAINTING WASTES, OILS, GREASES AND SILICONES SHALL BE STORED IN APPROVED CONTAINERS AND SHALL BE STORED IN A SECURE AREA. ALL WASTES SHALL BE STORED IN APPROVED CONTAINERS AND SHALL BE STORED IN A SECURE AREA. ALL WASTES SHALL BE STORED IN APPROVED CONTAINERS AND SHALL BE STORED IN A SECURE AREA.
12. STABILIZATION MEASURES MUST BE INITIATED WITHIN SEVEN (7) DAYS ON PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE OCCURRED. TEMPORARY VEGETATION, GRASS, AND WHEAT STRIP AFTER PERMANENT VEGETATION IS ESTABLISHED. PERMANENT VEGETATION SHALL BE MAINTAINED UNTIL LAWN IS ESTABLISHED.
13. STRUCTURAL PRACTICES TO CONVERT FLOWS FROM AREAS OF LAND DISTURBANCE TO STORE FLOWS OR OTHERWISE LIMIT RUNOFF AND THE DISCHARGE OF POLLUTANTS FROM EXPOSED AREAS OF THE SITE MUST BE IMPLEMENTED. SUCH PRACTICES MAY INCLUDE SALT FENCES, EARTH DIKES, DRAINAGE SWALES, SEDIMENT TRAPS, CHECK DAMS, SURFACE DRAINS, PIPE SLOPE DRAINS, STORM DRAIN INLET PROTECTION, HOOK OUTLET PROTECTION, REINFORCED SOIL RETAINING SYSTEMS AND GARDENS.
14. INSPECTION OF ALL CONTROL MEASURES AND DISTURBED AREAS MUST BE PERFORMED BY A TDEC LEVEL ONE CERTIFIED INSPECTOR TWICE PER WEEK, AT LEAST 72 HOURS APART, AND BEFORE ANTICIPATED STORM EVENTS (OR SERIES OF STORM EVENTS SUCH AS INTERMITTENT SHOWERS OVER ONE OR MORE DAYS) AND 24 HOURS AFTER THE END OF A STORM EVENT 0.5 INCHES OR GREATER. INSPECTIONS MUST BE DOCUMENTED AND BE IN FULL ACCORDANCE WITH THE MINIMUM CRITERIA SET FORTH BY ALL LOCAL & STATE STORM WATER REGULATIONS, TDEC AND THE CURRENT TENNESSEE GENERAL PERMIT REQUIREMENTS.

MARSHALL FARMERS CO.-OP
TAX MAP 71C, GRP. B, PARCEL 60
DEED BOOK F5, PAGE 272
9.93 ACRES (DEED)
8592.2 SQ.FT. (LOT 1)
= 9.73 ACRES (AFTER ADD-ON)



TOTAL DISTURBED AREA
= 37,676 SF (0.864 AC)

- SWPPP LEGEND**
- (CE) - TEMP. CONSTRUCTION ENTRANCE
 - (CW) - CONCRETE WASHOUT
 - (SF) - SILTATION FENCING
 - (SC) - STONE CHECK DAM
 - (IP) - INLET PROTECTION
 - (OP) - OUTLET PROTECTION
 - (FR) - STONE FILTER RING
 - (GM) - GEOGRID MATTING
 - (SW) - STRAW WATTLE
 - (GE) - GEOGRID MATTING
- (SEE SHEET C-3.3 FOR DETAILS)

811
Know what's below.
Call before you dig.

Developer:
Cameron J. Coble, II
1028 Nashville Hwy,
Lawnsburg, TN 37091
Contact: CJ Coble
ph: 615.637.0888
cjcob2@gmail.com

Siteowner:
Russell Lund Swearing
117 East Commerce St.
Lawnsburg, TN 37091
Contact: Todd Reese, P.E.
ph: 615.635.2480
tr Reese@tdec.state.tn.us

Civil Consultant:
Fertlis Civil Design
P.O. Box 5
Lawnsburg, TN 37097
Contact: Jeff Fertlis
jfertlis@fcdesign.com
ph: 615.597.2335

In cooperation with:
Nashville Civil LLC
Civil Design & Engineering
3000 West End Avenue
Nashville, TN 37203
ph: 615.259.1111

Graphic Scale: 1" = 30'

UTILITY NOTES AND OWNERS

The utility information shown herein was taken from actual field evidence. Utility agency records may differ. The utility engineer or owner of the utility shown is responsible for the accuracy of the utility information shown herein. The Owner(s) and Contractor(s) should assume responsibility to verify utility existence, size, location, depth, and availability of service, and be solely responsible for contacting the utility location service prior to commencing construction.

Utility	Owner	Contact
Water	Lawnsburg Water & Wastewater	599 W. Ellington Pkwy Lawnsburg, TN 37091 931-559-5244
Electric	Lewisburg Electric System	599 W. Ellington Pkwy Lawnsburg, TN 37091 931-559-5244
Gas	Lewisburg Gas Company	505 N. Ellington Pkwy Lawnsburg, TN 37091 931-559-4016
Sewer	Lewisburg Water & Wastewater	599 W. Ellington Pkwy Lawnsburg, TN 37091 931-559-5244
Cable	Charter Cable	1-800-628-9149
AT&T	AT&T	1-800-628-9149
Public Works	Lewisburg Public Works	599 W. Ellington Pkwy Lawnsburg, TN 37091 931-559-3883

FLOOD NOTE

By graphic plotting only, this property is in Zone(s) "X" of the Flood Insurance Rate Map (FIRM) for the City of Lawnsburg, Tennessee. No field surveying was performed to determine this zone and an elevation certificate may be needed to verify this determination or apply for a variance from the Federal Emergency Management Agency.

DEED REFERENCE

Being the property recorded as Deed Book 206, Page 873 as recorded in the Register's Office, Marshall County, Tennessee.

PROPERTY MAP REFERENCE

This property currently identified as Parcel 6100 of Group "B" on Tax Map 71C.

SITE GRADING & DRAINAGE NOTES:

1. THE EXISTING CONDITIONS INDICATED ON THE PLANS WERE OBTAINED FROM A TOPOGRAPHIC MAP PROVIDED BY THE OWNER TO THE ENGINEER FOR USE IN HIS DESIGN. THE ENGINEER DOES NOT GUARANTEE OR IN ANY WAY WARRANT THE ACCURACY OR COMPLETENESS OF THE INDICATED EXISTING TOPOGRAPHIC INFORMATION SHOWING HEREON, INCLUDING THE EXISTENCE, LOCATION & DEPTH OF ALL EXISTING UTILITIES WITHIN AND AROUND THE LIMITS OF CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ANY ALL EXISTING UTILITIES PRIOR TO COMMENCING WITH CONSTRUCTION. CONTRACTOR TO CONTACT TENNESSEE ONE-CALL (800) 351-1111, (615) 366-1987 A MINIMUM OF 24 HRS PRIOR TO COMMENCING WITH CONSTRUCTION ACTIVITIES.
2. CONTRACTOR TO INSTALL EROSION CONTROL MEASURES PRIOR TO BEGINNING CONSTRUCTION AROUND ALL SOIL STOCKPILES.
3. NO SLOPES TO EXCEED (3:1), AT A MINIMUM, ALL DISTURBED AREAS SHALL RECEIVE 6" MIN. TOPSOIL AND BE SEEDED WITH A TALL TURF TYPE FESCUE. ALL DISTURBED AREAS MUST BE STABILIZED WITH LUKE OR SIMILAR TYPE EROSION CONTROL FABRIC UNLESS OTHERWISE INDICATED ON THE PLANS.
4. THE CONTRACTOR SHALL PROTECT ALL TREES AND EXISTING GRASSSED AREAS NOT IN THE LIMITS OF NEW CONSTRUCTION FROM DAMAGE BY EQUIPMENT. CONSTRUCTION ACTIVITIES AND THE CONTRACTOR'S PERSONNEL, THE CONTRACTOR SHALL NOT DISTURB ANY LARGER AREAS THAN IS REQUIRED TO COMPLETE THE CURRENT CONSTRUCTION TASK(S) AND SHALL STABILIZE ALL DISTURBED AREAS AS SOON AS POSSIBLE FOLLOWING COMPLETION OF THE CURRENT CONSTRUCTION ACTIVITY.
5. THE CONTRACTOR SHALL INSTALL AND MAINTAIN SEDIMENTATION/EROSION CONTROL DEVICES AS INDICATED ON THE ACCOMPANYING STORM WATER POLLUTION PREVENTION PLAN (SWPPP). IF SWPPP IS NOT REQUIRED OR PROVIDED, THE CONTRACTOR SHALL PROVIDE ANY NECESSARY SEDIMENTATION/EROSION CONTROL DEVICES AS REQUIRED TO PREVENT ANY SEDIMENTATION FROM DISTURBED AREAS AS SOON AS POSSIBLE FOLLOWING COMPLETION OF THE CURRENT CONSTRUCTION ACTIVITY.
6. UPON COMPLETION OF THE REQUIRED WORK, THE CONTRACTOR SHALL DISTRIBUTE A MIN. 6" TOPSOIL TO PROPOSED GRASSSED AND LANDSCAPE AREAS. FINE GRADE AND PROPERLY STABILIZE SPECIFICATIONS (IF PROVIDED IN THESE PLANS) TO DETERMINE THE LOCATION AND TYPE OF PERMANENT GROUND COVER. AT A MINIMUM, SEED AND MULCH SHALL BE APPLIED TO ALL DISTURBED AREAS AS SOON AS FEASIBLE POSSIBLE.
7. TOTAL DISTURBED AREA IS < 1.0 ACRES, THEREFORE A NOTICE OF INTENT (NOINOC) IS NOT REQUIRED FOR THIS PROJECT.

Fertlisi Civil Design
Consulting & Design Services
Lawnsburg, TN 37091
Central: Todd Reese, P.E.
Cell: 615.637.0888
Email: fertlis@fcdesign.com

Client/Project:
Cameron J. Coble, II
1028 Nashville Highway
Lawnsburg, TN 37097

Permit/Seal:
Jeffertlis
Professional Engineer
No. 157-108
State of Tennessee
Expires: 8/24/22

Revisions:

Item:	Date:

Designed By: DPF
Drawn By: DPF
Checked By: DPF
Date: 8/24/22

Scale: AS NOTED

INITIAL STORM WATER POLLUTION PROTECTION PLAN (SWPPP)

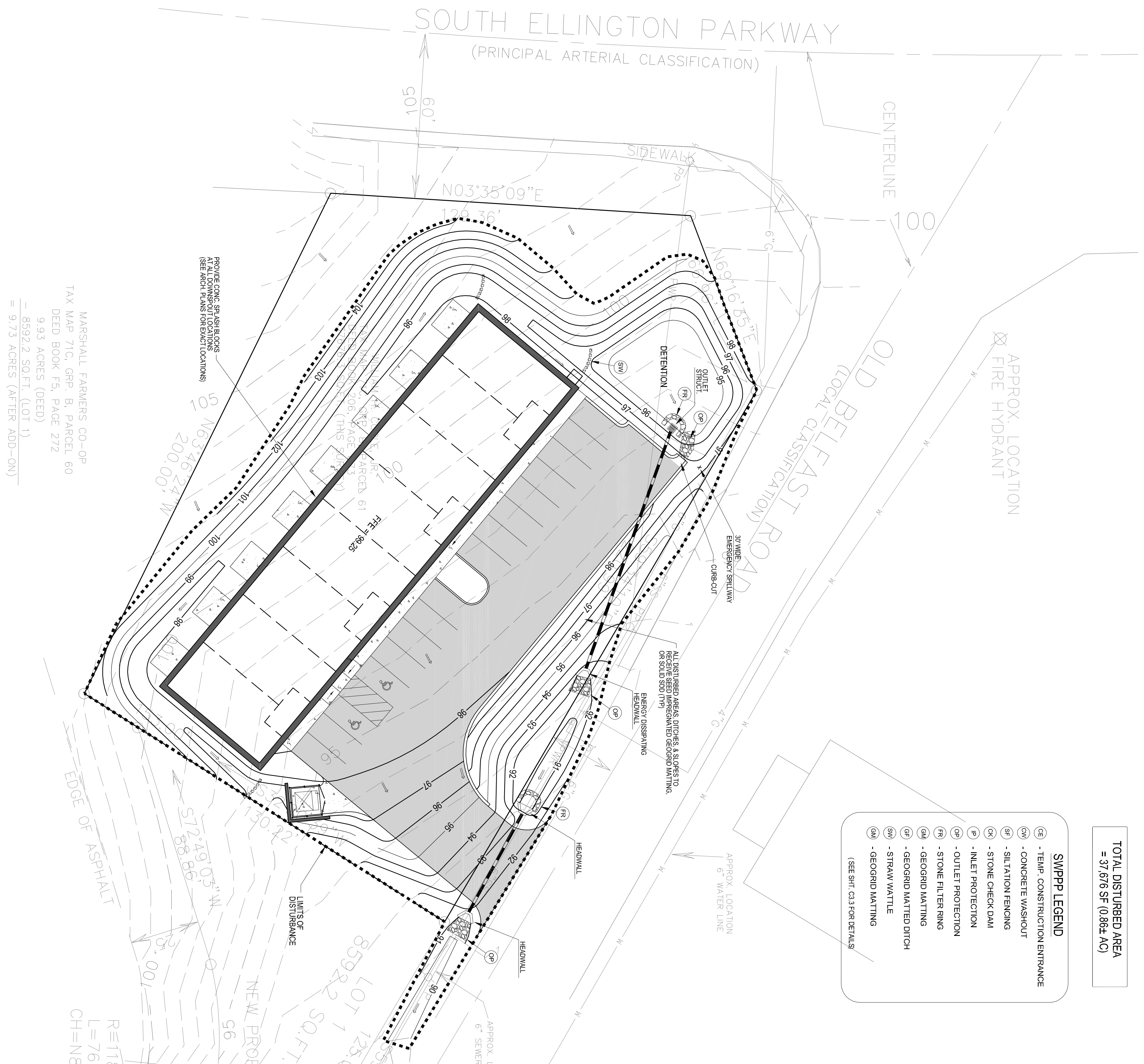
Drawing No. **C2.2**

GENERAL NOTES:

- EXTRA MEASURES MAY BE NEEDED AT SITE.
- IS WITHIN 300 FEET OF A STREAM OR WETLAND
- IS WITHIN 1000 FEET OF A LAKE
- IS STEEP SLOPE (SLOPE OF 12% OR GREATER)
- RECEIVES RUNOFF FROM 10,000 SQ. FT. OR MORE OF ADJACENT LAND
- IS MORE THAN AN ACRE OF DISTURBED GROUND
- PRESERVING EXISTING VEGETATION
- WHENEVER POSSIBLE PRESERVE EXISTING TREES, SHRUBS, AND OTHER VEGETATION TO PREVENT ROOT DAMAGE DO NOT GRADE PLACES MARKED FOR PRESERVATION
- REVEGETATION:
 - DISTURBED SOILS SHALL BE STABILIZED AS QUICK AS PRACTICAL WITH TEMPORARY VEGETATION
 - ALL AREAS SHALL BE REVEGETATED WITHIN 90 DAYS OF COMPLETION OF CONSTRUCTION
 - TEMPORARY MULCH IS TO BE APPLIED AT THE RATE OF 2.3 BALES STRAW PER 1000 SQ. FT.
- DOWNSPOUT EXTENDERS:
 - NOT REQUIRED BUT HIGHLY RECOMMENDED
 - DOWNSPOUTS AS OUTLETS AND DOWNSPOUTS ARE COMPLETED
 - ROUTE WATER TO GRASSSED AREA
 - MAINTAIN UNTIL LAWN IS ESTABLISHED
- POST CONSTRUCTION SOIL STABILIZATION:
 - FOR STABILIZATION, UNLESS NOTED OTHERWISE, WITH NORTH AMERICAN GREEN S-390 EROSION CONTROL BLANKET OR APPROVED SUBSTITUTE STABLE PATTERNS.

EROSION & SEDIMENT CONTROL NOTES:

1. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL & STATE STORMWATER ORDINANCES FOR GRADING AND EROSION AND SEDIMENT CONTROL FOR THE MEASURES SHOWN OR STATED ON THESE PLANS.
2. CONTRACTOR MUST ENSURE THAT THE CONSTRUCTION SITES ARE PROTECTED FROM EROSION AND SEDIMENT MEASURES IN PLACE PRIOR TO COMMENCING WITH CONSTRUCTION ACTIVITIES.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREA ARE STABILIZED. CHANGES TO THIS EROSION AND SEDIMENT CONTROL PLAN SHALL BE MADE TO MEET FIELD CONDITIONS AS REQUIRED TO PREVENT EROSION & SEDIMENT FROM LEAVING THE LIMITS OF THE PROJECT.
4. THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS MAY BE MADE TO THE PLAN IN THE FIELD SUBJECT TO THE APPROVAL OF OR AT THE DIRECTION OF A REPRESENTATIVE OF THE DEPARTMENT OF UTILITIES.
5. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED BEFORE AND AFTER ALL STOPS TO INSURE MEASURES ARE FUNCTIONING PROPERLY.
6. CONTRACTOR SHALL MAINTAIN A LOG AT SITE OF ALL INSPECTIONS OF MAINTENANCE OF BMP'S AS WELL AS ANY CORRECTIVE CHANGES TO THE BMP'S OR EROSION AND SEDIMENT CONTROL PLAN & SHALL OTHERWISE COMPLY WITH ALL TDEC REQUIREMENTS FOR BMP'S.
7. IN AREAS WHERE SOIL IS EXPOSED PROLONG REPAIRING WITH NATIVE COMPATIBLE PERSISTENT VEGETATION SHALL BE PERFORMED. NO AREAS WILL BE LEFT EXPOSED OVER THE WINTER SEASON.
8. THE CONTRACTOR SHALL INSTALL THE STABILIZED CONSTRUCTION ENTRANCE PRIOR TO COMMENCEMENT OF GRADING. LOCATION OF THE ENTRANCE MAY BE ADJUSTED BY THE CONTRACTOR TO FACILITATE GRADING OPERATIONS. ALL CONSTRUCTION TRUCKS ENTERING THE PAVED DRIVEWAY SHALL BE CLEANED AT THE ENTRANCE TO PREVENT EROSION STABILIZED CONSTRUCTION ENTRANCE SHALL REMAIN IN PLACE UNTIL THE ROAD BASE ROCK COURSE IS COMPLETE.
9. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE SWEEP AT THE END OF EACH WORK DAY OR AS NECESSARY.
10. CONTRACTOR SHALL PLACE EROSION CONTROL MEASURES AROUND ALL EXPOSED STRUCTURE FOUNDATIONS IMMEDIATELY AFTER THE STRUCTURE OPENINGS ARE COMPLETED. THE EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE.
11. CONTRACTOR SHALL IMPLEMENT HOUSEKEEPING PRACTICES AS FOLLOWS:
 - A. CONCRETE WASTE:
 - PROVIDE A DESIGNATED AREA FOR A TEMPORARY PIT TO BE USED FOR CONCRETE TRUCK WASHOFF. DISPOSE OF HARDENED CONCRETE OFFSITE. AT NO TIME SHALL A CONCRETE TRUCK EQUIP VIA CURB AND GUTTER. INSPECT DAILY TO CONTROL RUNOFF AND WEAKLY FOR REMOVAL OF HARDENED CONCRETE
 - B. PAINT AND PAINTING SUPPLIES:
 - PROVIDE INSTRUCTIONS TO EMPLOYEES AND SUBCONTRACTORS TO PROTECT FROM PAINT AND PAINTING WASTE. PROVIDE PPE AND CLEANUP. INSPECT SITE WEEKLY FOR EVIDENCE OF IMPROPER DISPOSAL.
12. STABILIZATION MEASURES MUST BE INITIATED WITHIN SEVEN (7) DAYS ON PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED AND WITHIN (15) DAYS AFTER GRADING OF OTHER EARTHWORK. PERMANENT STABILIZATION WITH PERMANENT VEGETATION OR OTHER PERMANENTLY STABLE NONERODING SURFACE SHALL BE APPLIED AS SOON AS PRACTICAL. STABILIZATION PRACTICES MAY INCLUDE: TEMPORARY SEEDING, PERMANENT SEEDING, MULCHING, GEO-TEXTILES, SOIL STABILIZATION AND OTHER APPROPRIATE MEASURES.
13. STRUCTURAL PRACTICES TO DIVERT FLOWS FROM AREAS OF LAND DISTURBANCE:
 - PLANTING OF TREES AND SHRUBS OUTSIDE OF THE DISTURBED AREA SHALL BE INITIATED AS SOON AS PRACTICAL. IMPLEMENTED. SUCH PRACTICES MAY INCLUDE: SURFACE DRAINS, DRAINAGE SWALES, SEDIMENT TRAPS, CHECK DAMS, SURFACE DRAINS, PRE SLOPE DRAINS, STORM DRAIN NET PROTECTION, ROCK OUTLET PROTECTION, REINFORCED SOIL RETAINING SYSTEMS AND GABIONS.
14. INSPECTION OF ALL CONTROL MEASURES AND DISTURBED AREAS MUST BE PERFORMED BY THE LEAD ONCE-CERTIFIED INSPECTOR TWICE PER WEEK FOR THE DURATION OF THE PROJECT. THE INSPECTOR SHALL REFER TO THE SERIES OF STORM EVENTS SUCH AS INTERMITTENT SHOWS OVER ONE OR MORE DAYS, AND 24 HOURS AFTER THE END OF A STORM EVENT 0.5 INCHES OR GREATER. INSPECTIONS MUST BE DOCUMENTED AND BE IN FULL ACCORDANCE WITH THE MINIMUM CRITERIA SET FORTH BY ALL LOCAL & STATE STORM WATER RESOLUTIONS, TDEC AND THE CURRENT TENNESSEE GENERAL



TOTAL DISTURBED AREA
= 37,876 SF (0.86± AC)

SWPPP LEGEND

- (CE) - TEMP. CONSTRUCTION ENTRANCE
- (CW) - CONCRETE WASHOUT
- (SF) - SILTATION FENCING
- (SC) - STONE CHECK DAM
- (IP) - INLET PROTECTION
- (FP) - OUTLET PROTECTION
- (FR) - STONE FILTER RING
- (GM) - GEOGRID MATTING
- (SM) - STRAW WATTLE
- (GM) - GEOGRID MATTING

(SEE SHEET C-3.3 FOR DETAILS)

MARSHALL FARMERS CO.-OP
TAX MAP 71C, GRP. B, PARCEL 60
DEED BOOK F5, PAGE 272
9.93 ACRES (DEED)
8592.2 SQ. FT. (LOT 1)
= 9.73 ACRES (AFTER ADD-ON)

TOTAL DISTURBED AREA
= 37,876 SF (0.86± AC)

811
Know what's below.
Call before you dig.

Developer:
Cameron J. Coble, II
1028 Nashville Hwy,
Lewisburg, TN 37091
Contact: CJ Coble
ph: 931.637.0888
fzls@cjcoble.com

Surveyor:
Russell Ford Surveying
117 East Commerce St.
Lewisburg, TN 37091
Contact: Todd Reese, PLS
ph: 931.637.2480
tjrs@rfsurvey.com

Civil Consultant:
P.O. Box 5
Lewisburg, TN 37097
Contact: Jeff Feltner
jfeltner@jefffeltner.com
ph: 931.637.2480

In cooperation with:
Nashville Civil LLC
Civil Design & Engineering
1080 10th Avenue
Nashville, TN 37203
ph: 615.973.2335

UTILITY NOTES AND OWNERS

- The utility information shown herein was taken from actual field evidence. Utility agency records may differ in eligible evidence. Other utility locations not shown and not noted on the utility locations shown herein. The Owner(s) and Contractor(s) should assume responsibility to verify utility existence, size, location, depth, and availability of service, and be solely responsible for contacting the utility location service prior to commencing construction.
- | | | | | | |
|--------------|--|----------|--|-------|---------------------------------|
| Water | Lewisburg Water & Wastewater
100 Valet Street
PO Box 2787
Lewisburg, TN 37091
931-359-6931 | Electric | Lewisburg Electric System
599 W. Ellington Pkwy
Lewisburg, TN 37091
931-359-2544 | Cable | Charter Cable
1-855-872-2428 |
| Sewer | Lewisburg Water & Wastewater
100 Valet Street
PO Box 2787
Lewisburg, TN 37091
931-359-6931 | Gas | Lewisburg Gas Company
505 N. Ellington Pkwy
PO Box 2787
Lewisburg, TN 37091
931-359-4016 | AT&T | 1-800-628-9149 |
| Public Works | Lewisburg Public Works
Lewisburg, TN 37091
931-359-3883 | | | | |

FLOOD NOTE

By graphic plotting only, this property is in Zone(s) "X" of the Flood Insurance Rate Map Community Panel No. 47117C004D which bears an effective date of September 28, 2007. No field surveying was performed to determine this zone and an elevation certificate may be needed to verify this determination or apply for a variance from the Federal Emergency Management Agency.

SITE GRADING & DRAINAGE NOTES:

1. THE EXISTING CONDITIONS INDICATED ON THE PLANS WERE OBTAINED FROM A DESIGN. THE ENGINEER DOES NOT GUARANTEE OR IN ANY WAY WARRANT THE ACCURACY OR COMPLETENESS OF THE INDICATED EXISTING TOPOGRAPHIC INFORMATION SHOWN HEREIN, INCLUDING THE EXISTENCE, LOCATION & DEPTH OF ALL EXISTING UTILITIES WITHIN AND AROUND THE LIMITS OF CONSTRUCTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR FIELD VERIFYING THE PRESENCE EXACT LOCATION & DEPTH OF ANY ALL EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES.
2. CONTRACTOR TO INSTALL EROSION CONTROL MEASURES PRIOR TO BEGINNING SITUATION CONTROL (SILT FENCING) AROUND ALL SOIL STOCKPILES.
3. NO SLOPES TO EXCEED (3:1) AT A MINIMUM, ALL DISTURBED AREAS SHALL RECEIVE 6" MIN. TOPSOIL AND BE SEEDDED WITH A TALL TURF TYPE FESCUE. ALL DISTURBED AREAS MUST BE STABILIZED WITH JUTE OR SIMILAR TYPE EROSION CONTROL FABRIC UNLESS OTHERWISE INDICATED ON THE PLANS.
4. THE CONTRACTOR SHALL PROTECT ALL TREES AND EXISTING GRASSSED AREAS NOT IN THE LIMITS OF NEW CONSTRUCTION FROM DAMAGE BY EQUIPMENT, CONSTRUCTION ACTIVITIES AND THE CONTRACTOR'S PERSONNEL. THE CONTRACTOR SHALL NOT DISTURB ANY LARGER AREAS THAN IS REQUIRED TO COMPLETE THE CURRENT CONSTRUCTION TASK(S) & SHALL STABILIZE ALL DISTURBED AREAS AS SOON AS POSSIBLE FOLLOWING COMPLETION OF THE CURRENT CONSTRUCTION ACTIVITY.
5. THE CONTRACTOR SHALL INSTALL AND MAINTAIN SEDIMENTATION/EROSION CONTROL DEVICES AS INDICATED ON THE ACCOMPANYING STORM WATER POLLUTION PREVENTION PLAN (SWPPP). IF SWPPP IS NOT REQUIRED OR PROVIDED, THE CONTRACTOR SHALL PROVIDE ANY NECESSARY SEDIMENTATION/EROSION CONTROL DEVICES AS REQUIRED TO PREVENT ANY SEDIMENTATION FROM LEAVING THE LIMITS OF THE PROJECT. ALL SEDIMENTATION/EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. MEASURES ARE IN PLACE AND PROPERLY INSTALLED.
6. UPON COMPLETION OF THE REQUIRED WORK, THE CONTRACTOR SHALL DISTRIBUTE A MIN. 6" TOPSOIL TO PROPOSED GRASSSED AND LANDSCAPE AREAS. THE REFER TO SITE LANDSCAPING PLANS AND SPECIFICATIONS. IF PROVIDED IN THESE PLANS TO DETERMINE THE LOCATION AND TYPE OF PERMANENT GROUND COVER, AT A MINIMUM, SEED AND MULCH SHALL BE APPLIED TO ALL DISTURBED AREAS AS SOON AS FEASIBLE POSSIBLE.
7. TOTAL DISTURBED AREA IS 4.10 ACRES. THEREFORE A NOTICE OF INTENT (NOINCO) IS NOT REQUIRED FOR THIS PROJECT.

Fertlisi Civil Design
Consulting & Design Services
Lewisburg, TN 37091
jeff.feltner@fertlisci.com

Client/Project:
Cameron J. Coble, II
1028 Nashville Highway
Lewisburg, TN 37097

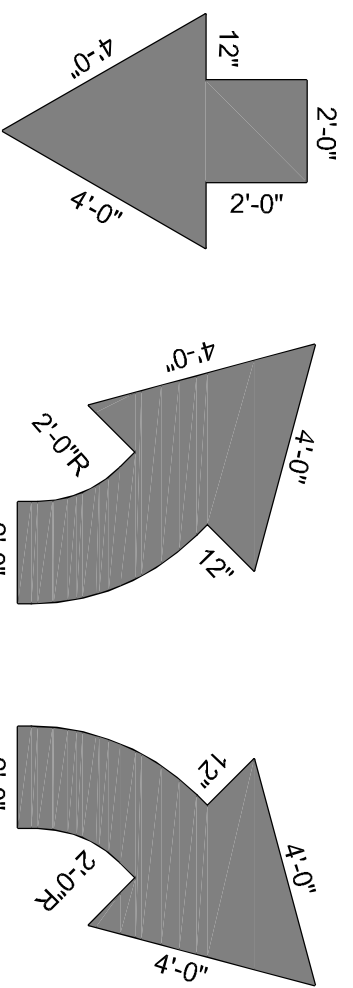
Multifamily Residential
915 Old Belfast Road
3rd Civil District
Lewisburg, Marshall County, TN

Revisions:
Item: _____ Date: _____

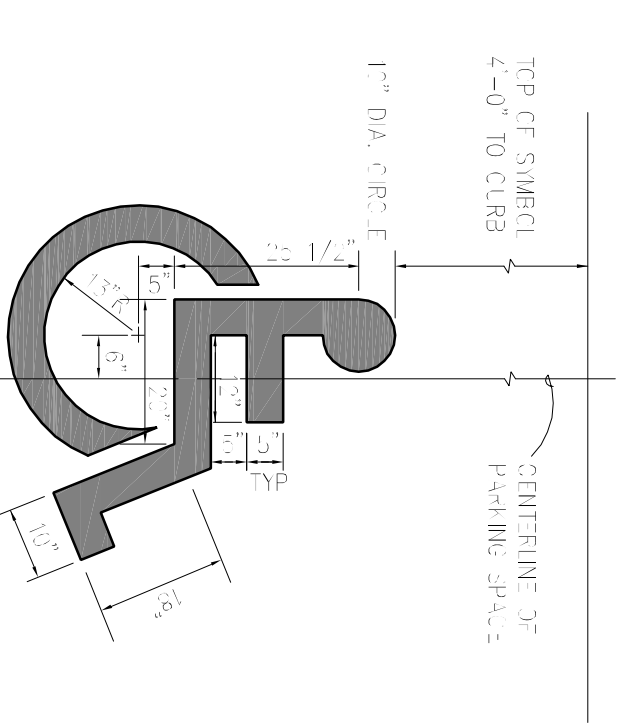
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Title: INTERIM & FINAL STORMWATER POLLUTION PREVENTION PLAN

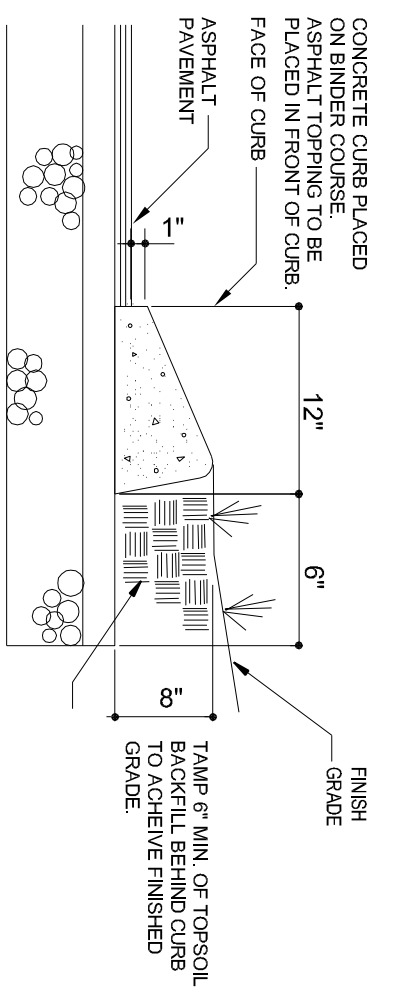
Drawing No. **C2.3**



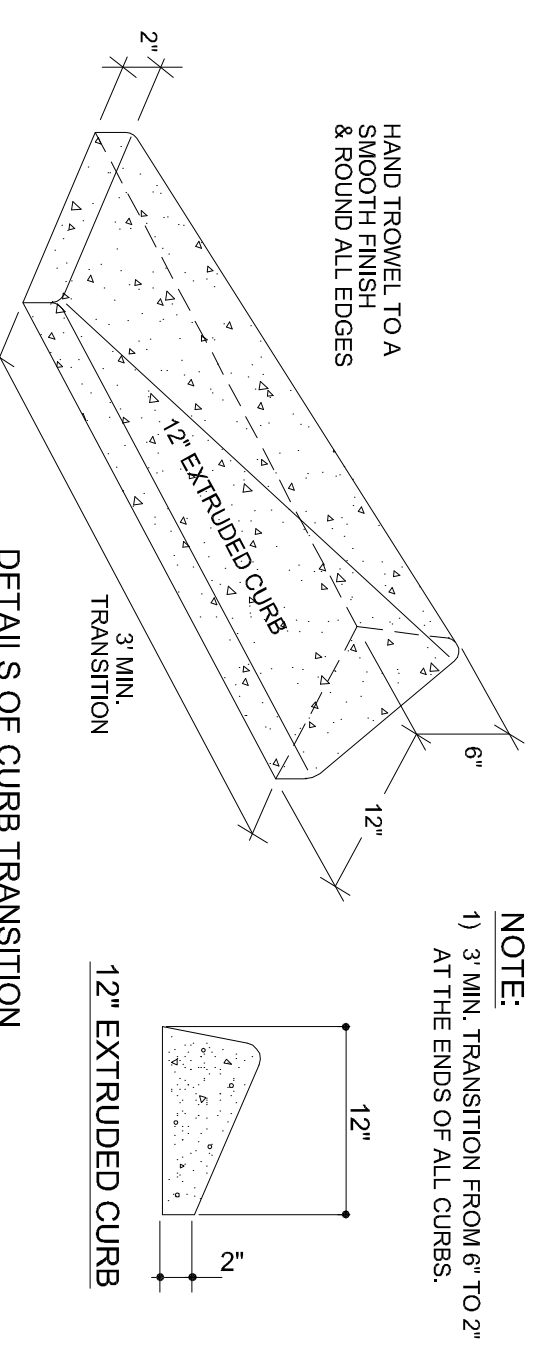
ALL PAVEMENT SYMBOLS TO BE PAINTED REFLECTIVE WHITE
 NOT TO SCALE
PAINTED DIRECTIONAL ARROWS



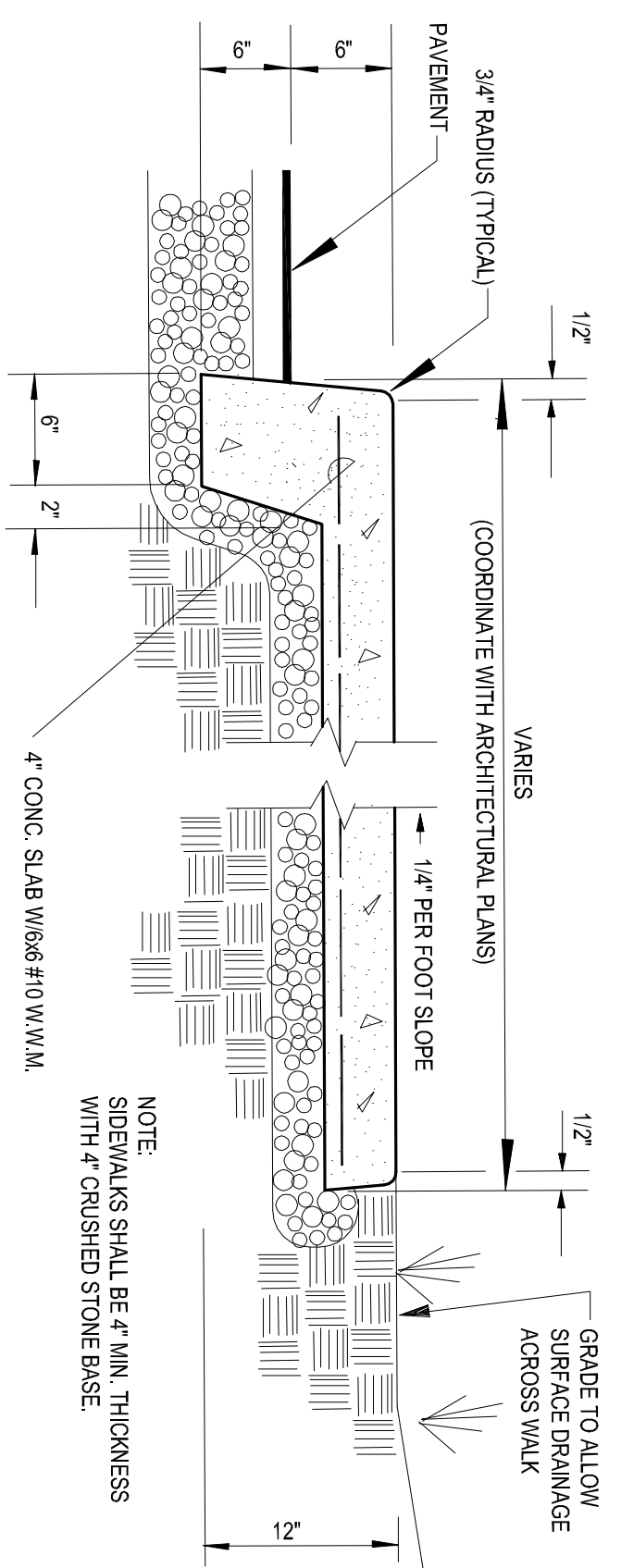
HANDICAP PARKING SYMBOL
 NOT TO SCALE



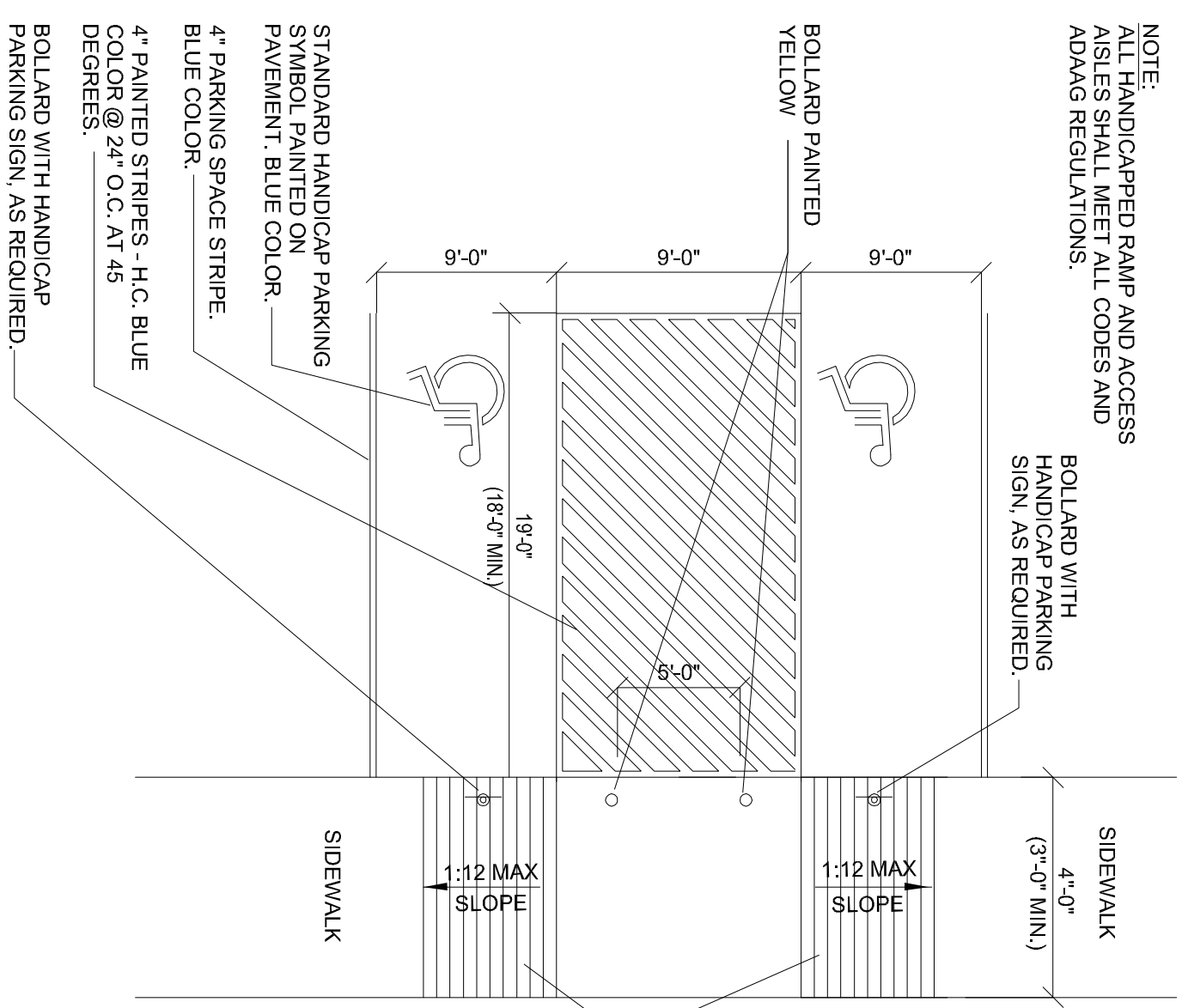
EXTRUDED CURB
 NOT TO SCALE



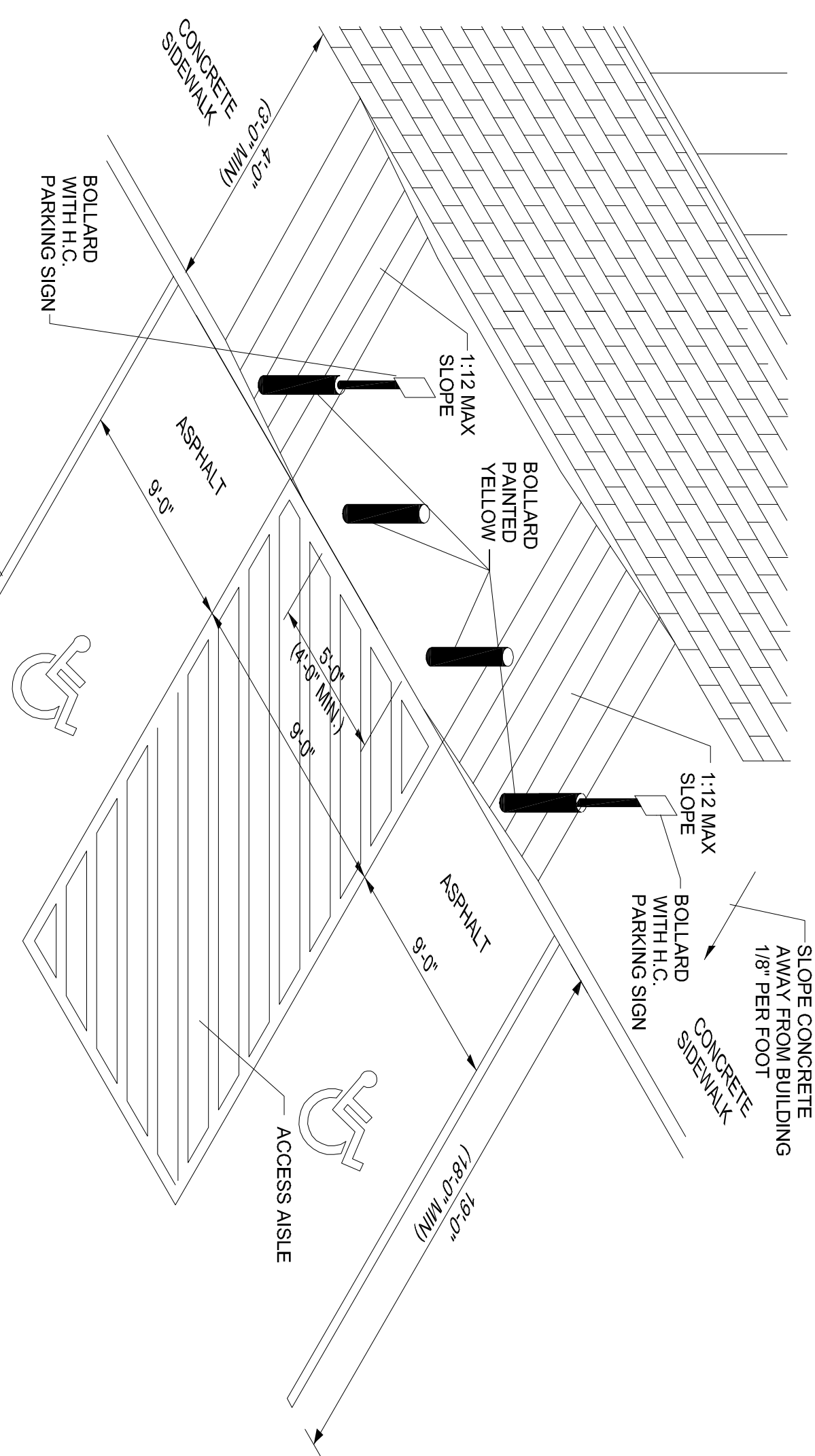
TRANSITIONAL CURB DETAIL
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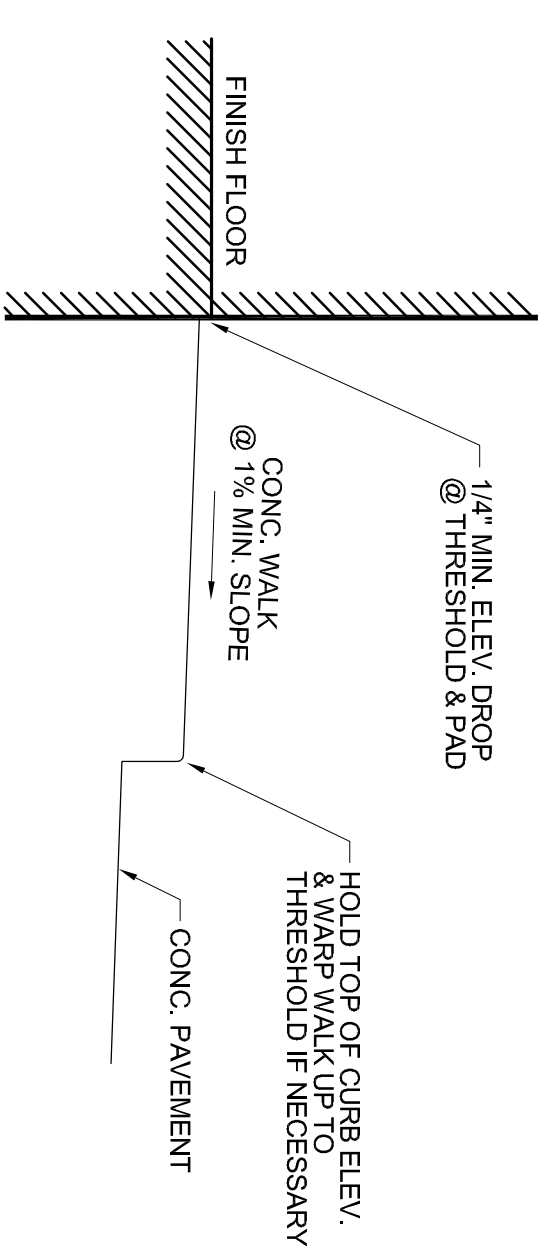
MONOLITHIC CONCRETE WALK
 NOT TO SCALE



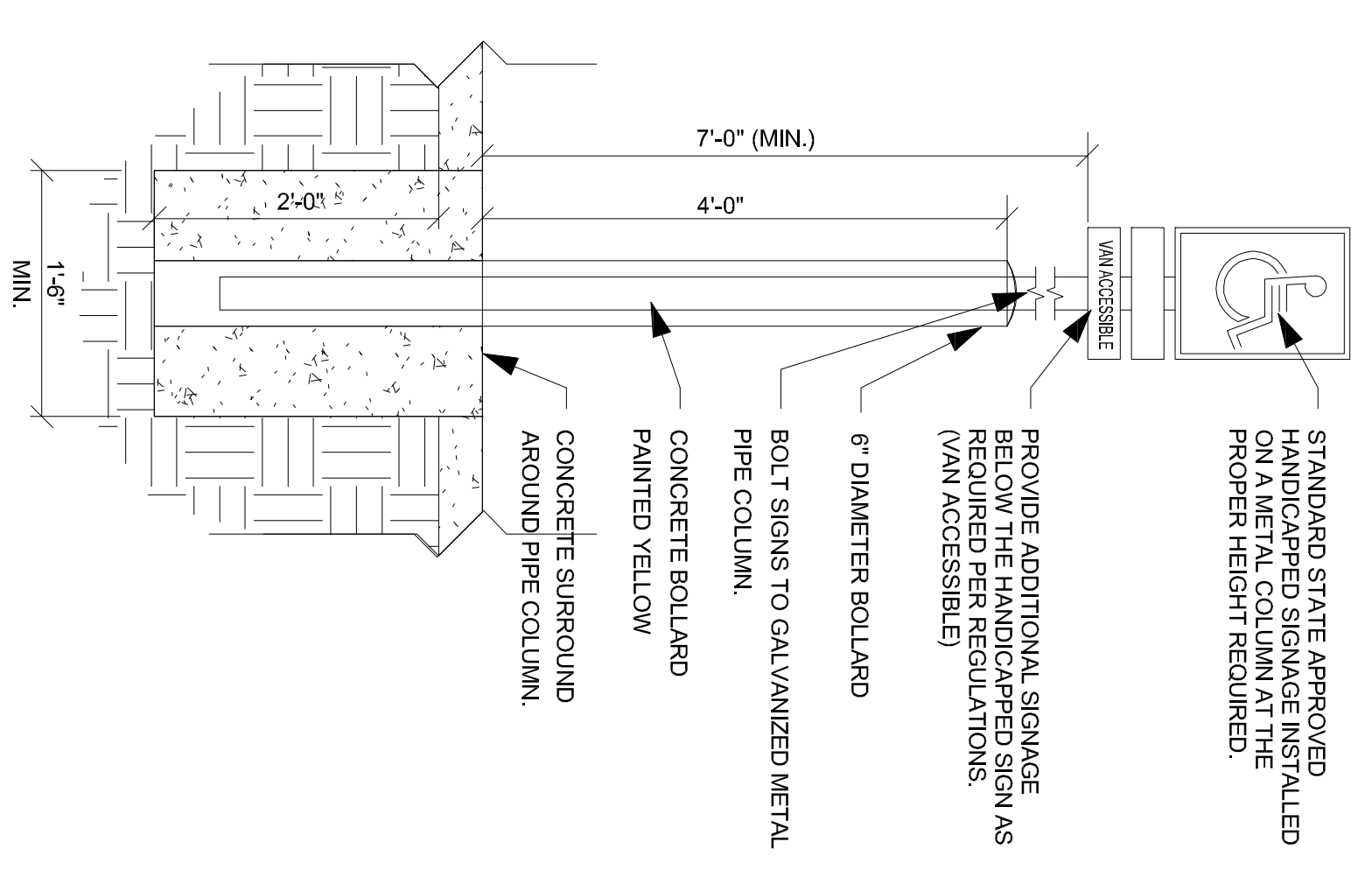
VAN ACCESSIBLE HANDICAP PARKING DETAIL
 NOT TO SCALE



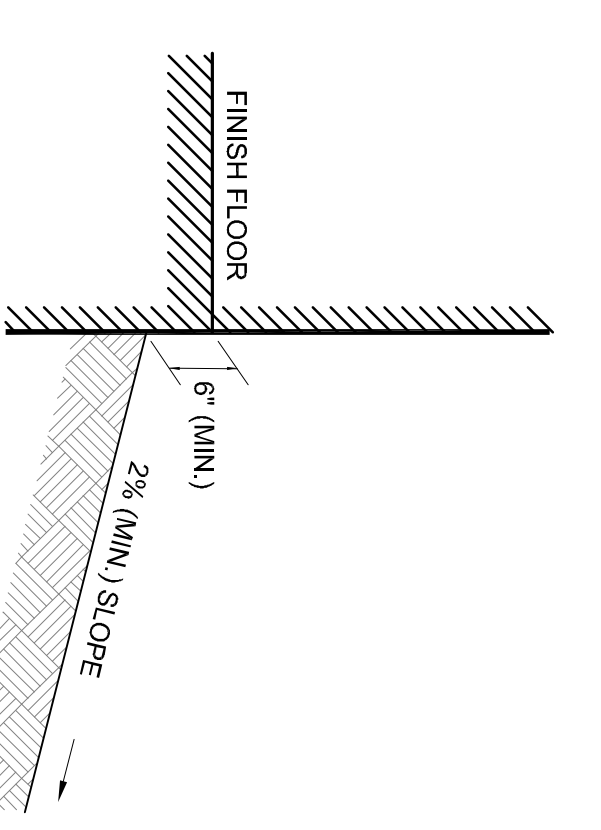
HANDICAP PARKING, ACCESS RAMP AND ACCESS AISLE DETAILS
 NOT TO SCALE



FINISHED GRADE @ STOOPS & SIDEWALKS ADJACENT TO BUILDING
 NOT TO SCALE



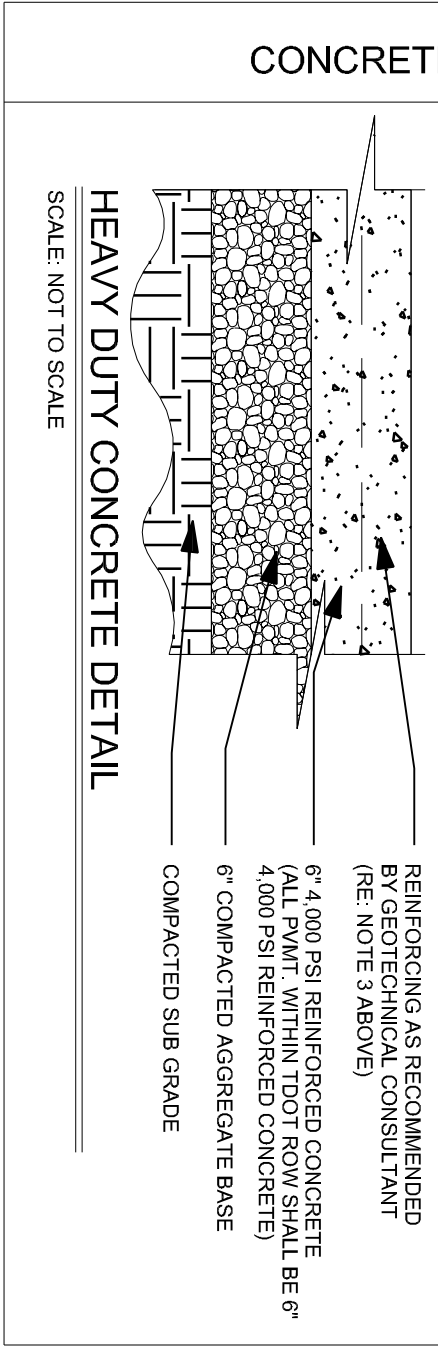
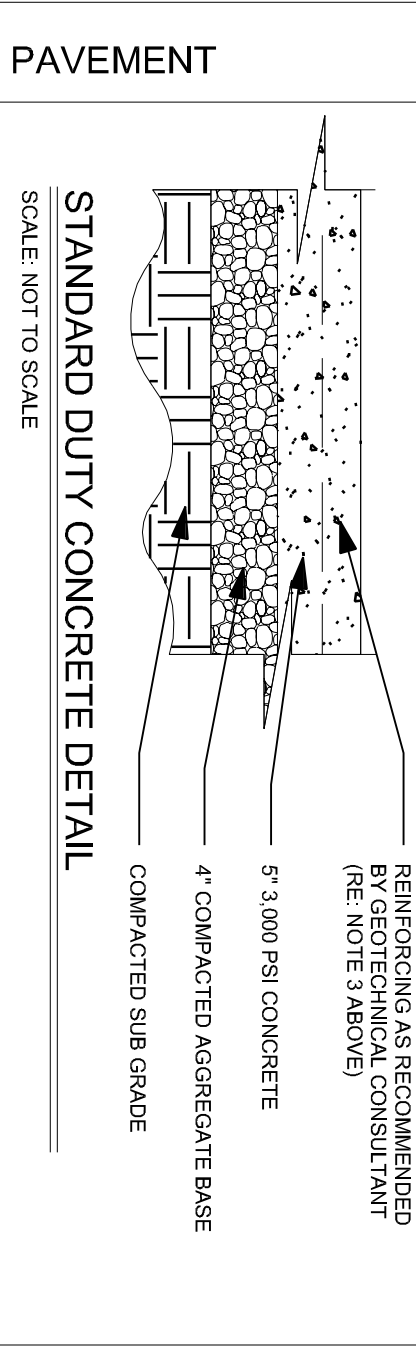
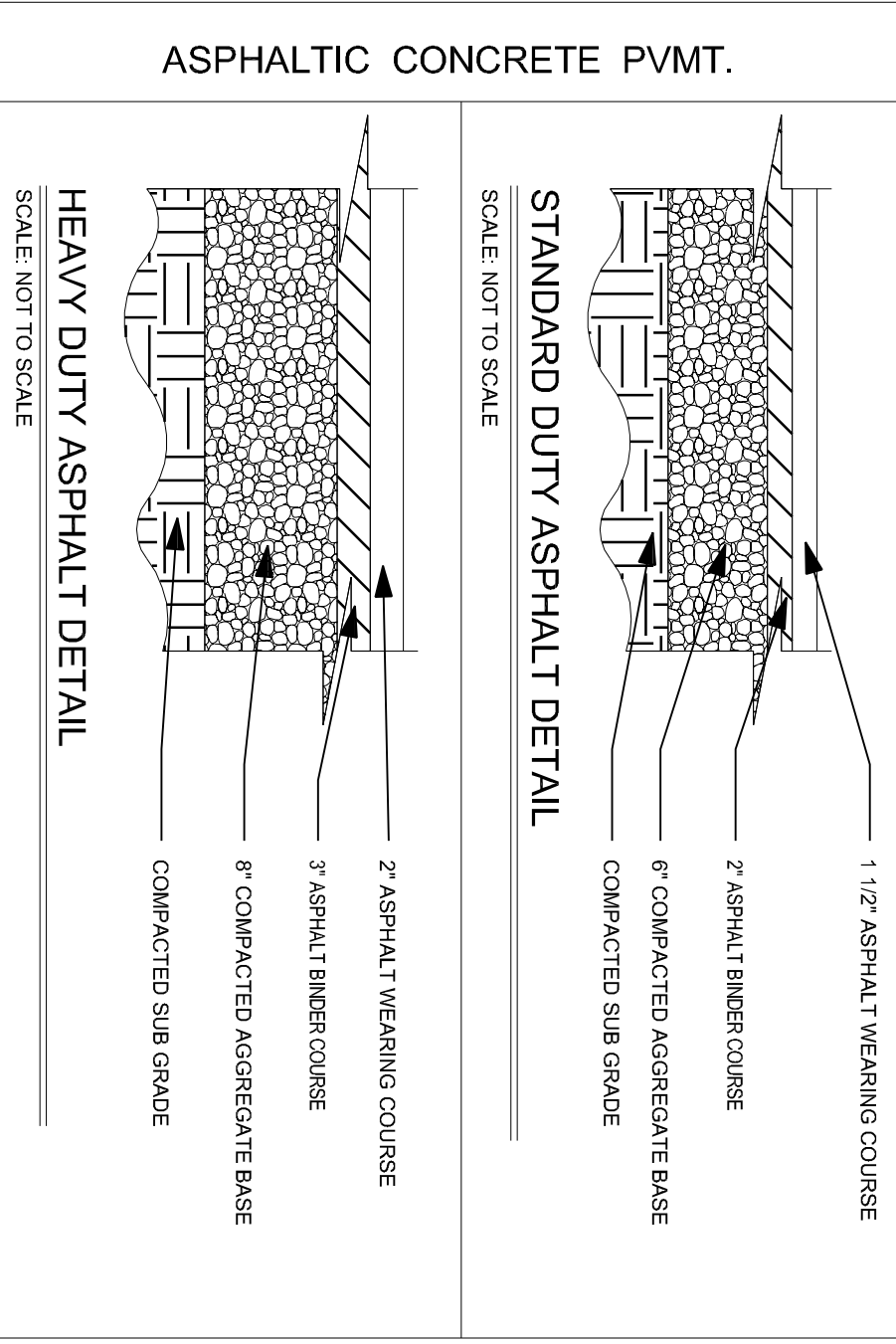
HANDICAP PARKING SIGN DETAIL
 NOT TO SCALE



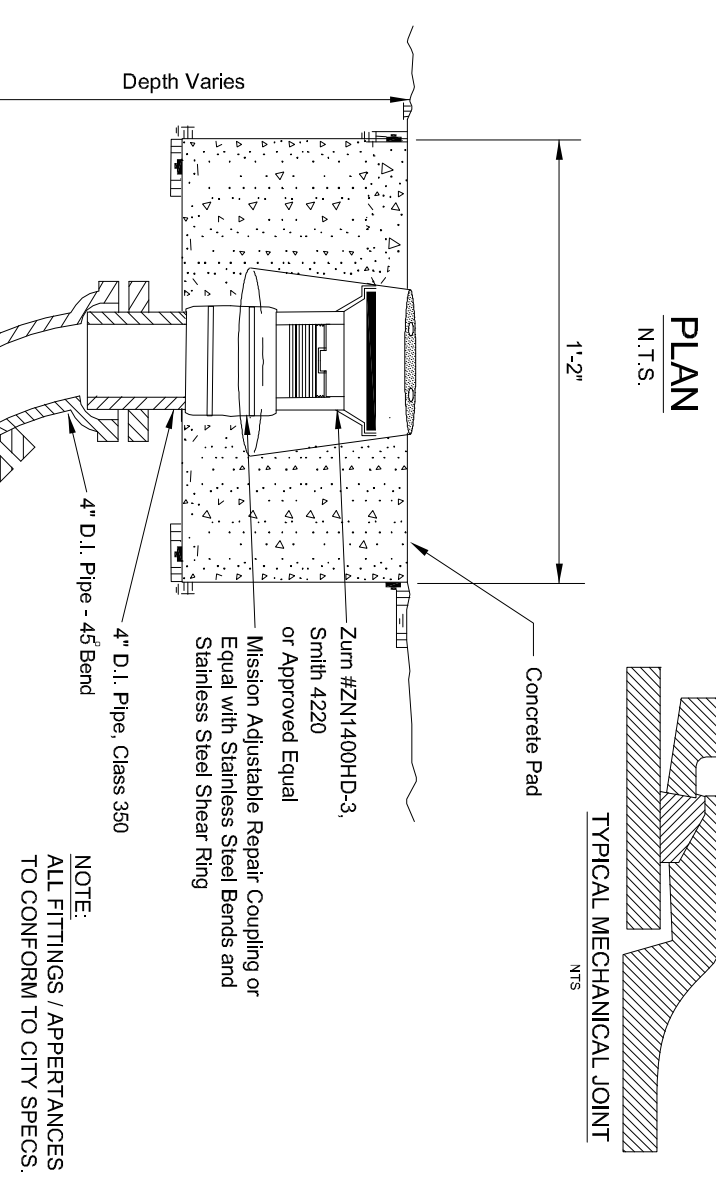
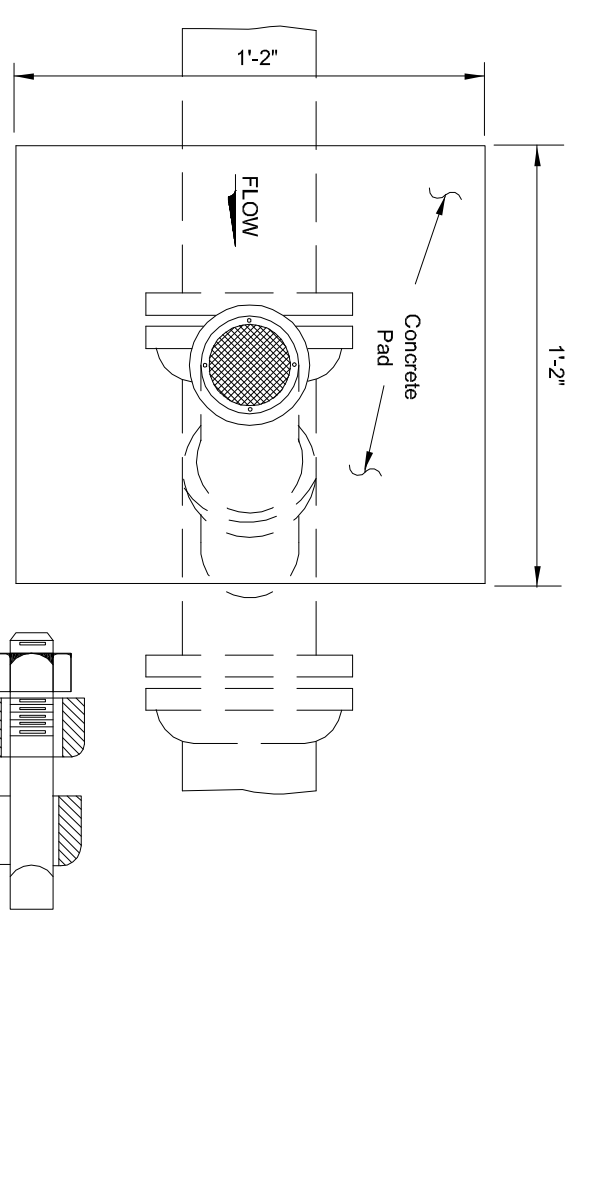
FINISHED GRADE @ BUILDING
 NOT TO SCALE

TYPICAL PAVEMENT DETAILS

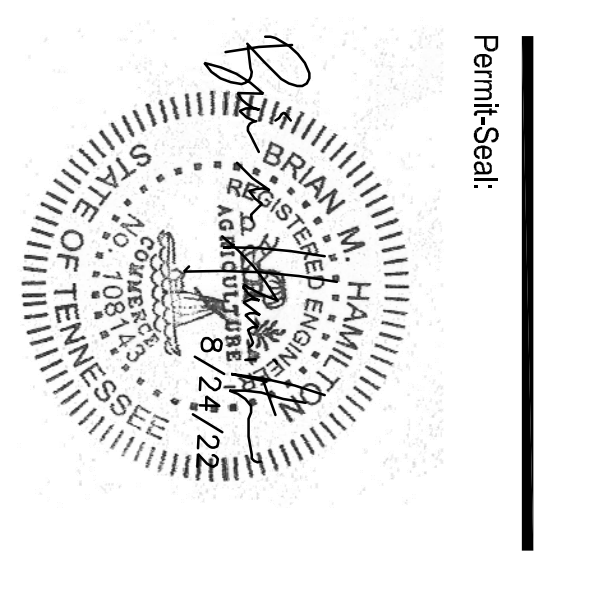
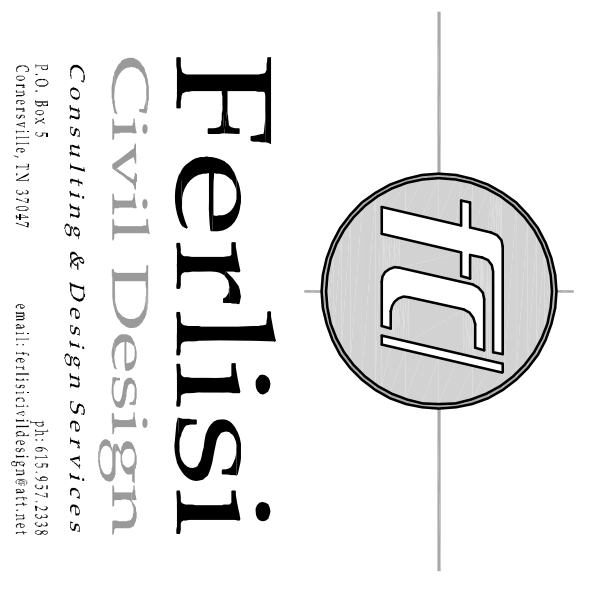
1. THE SUBGRADE MATERIAL SHALL BE PROOF ROLLED AND/OR SCARIFIED AND COMPACTED PRIOR TO APPLICATION OF BASE MATERIAL. WHERE EXISTING SUBGRADE MATERIALS ARE UNSUITABLE, THEY SHALL BE REMOVED AND REPLACED WITH COMPACTED SELECT MATERIAL IN ACCORDANCE WITH GEOTECHNICAL RECOMMENDATIONS.
2. HEAVY DUTY CONCRETE PAVEMENT AND STANDARD DUTY CONCRETE PAVEMENT AS RECOMMENDED BY THE GEOTECHNICAL REPORT OR LOCAL GENERAL MINIMUMS SHALL BE STEEL REINFORCED. REINFORCEMENT SHALL BE PROVIDED BY CAST-IN-PLACE.
3. CONCRETE PAVEMENT JOINTS MUST BE SEALED WITH AN APPROVED SEALANT. STEEL REINFORCEMENT SHALL BE USED AT JOINTS. REFER TO ALL CITY SPECIFICATIONS FOR DESIGN AND CONSTRUCTION OF CONCRETE PAVEMENT JOINTS, SEALS AND CURBS.



TYPICAL PAVEMENT DETAILS
 NOT TO SCALE



TYPICAL CLEANOUT DETAIL
 NOT TO SCALE



Client/Project: Cameron J Coble, II
 1028 Nashville Highway
 Lewisburg, TN 37097

Multifamily Residential
 915 Old Belfast Road
 3rd Civil District
 Lewisburg, Marshall County, TN

Revisions: _____
 Item: _____ Date: _____

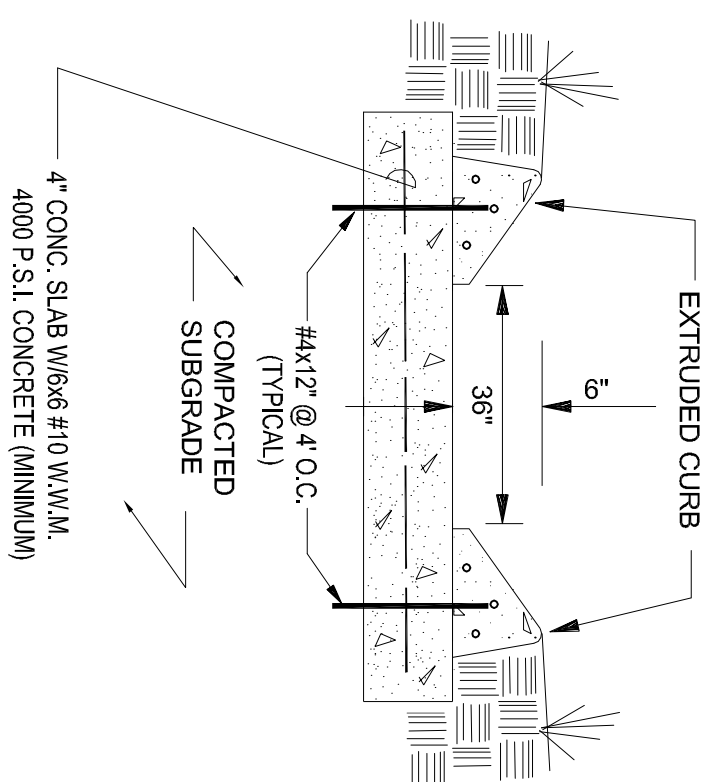
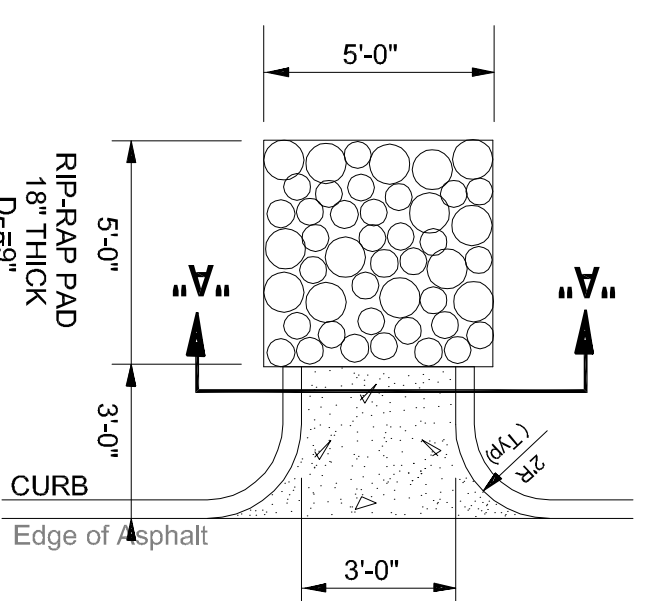
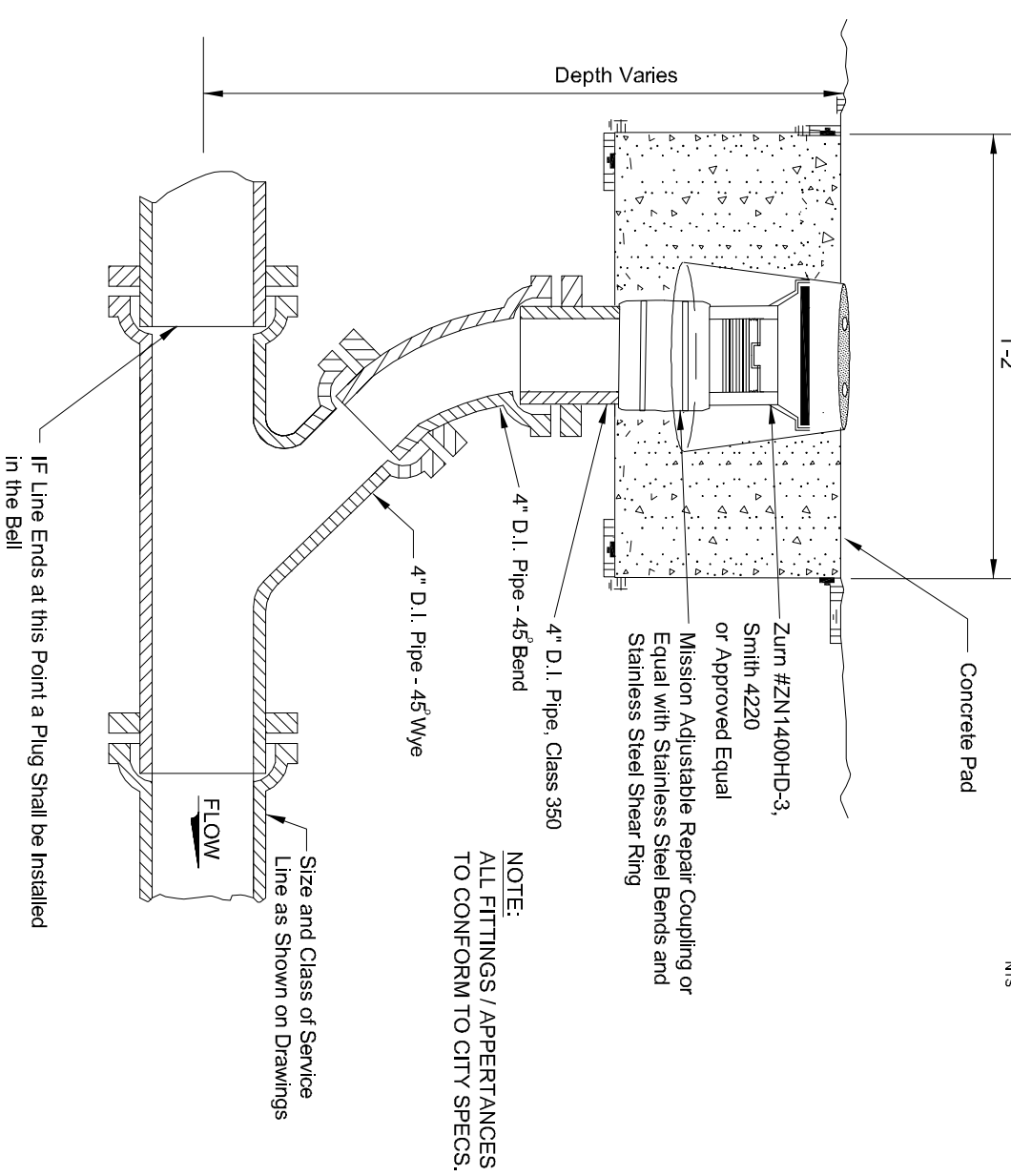
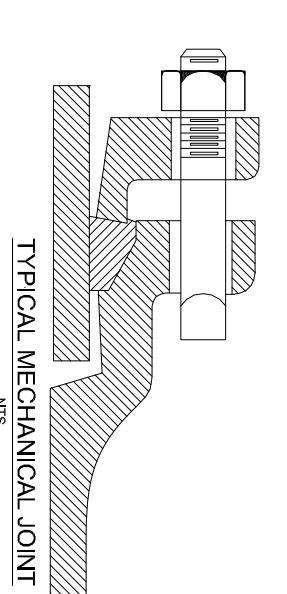
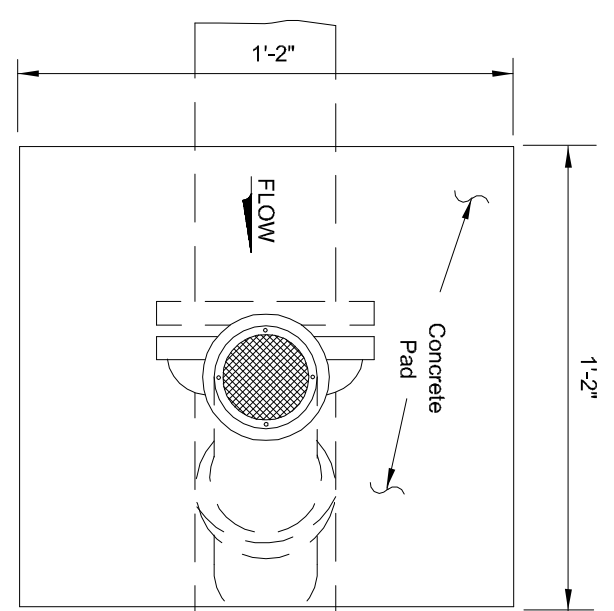
Project No.: _____

Designed By: DPF
 Drawn By: DPF
 Checked By: DPF
 Date: 8/24/22

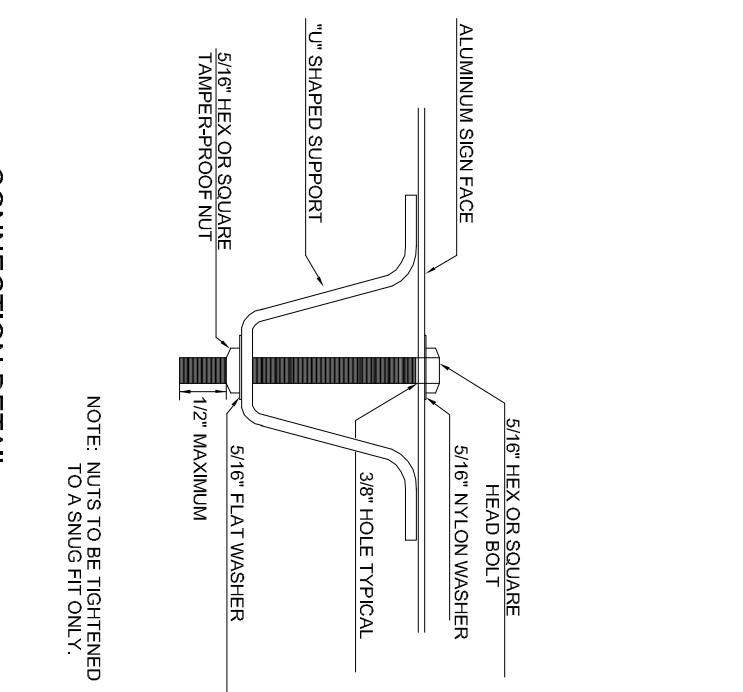
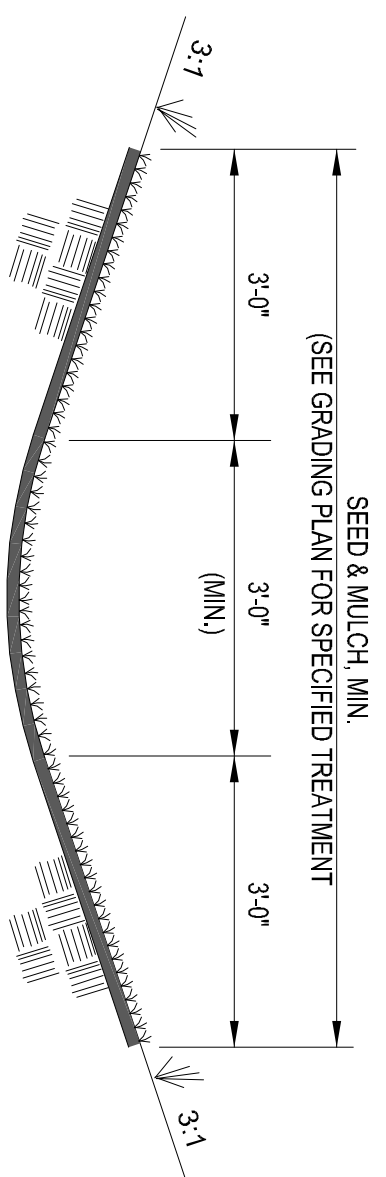
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Title: MISCELLANEOUS DETAILS

Drawing No. **C3.1**

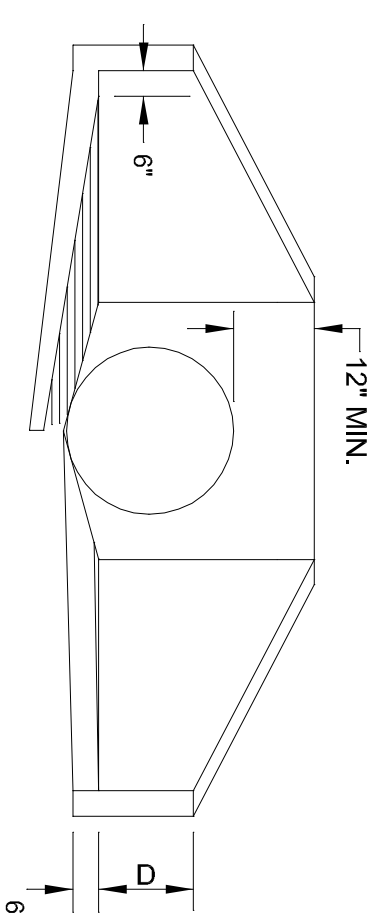


CURB CUT
NOT TO SCALE



STOP SIGN
INSTALLATION DETAIL

STOP SIGN DETAIL
NOT TO SCALE



SECTION A-A

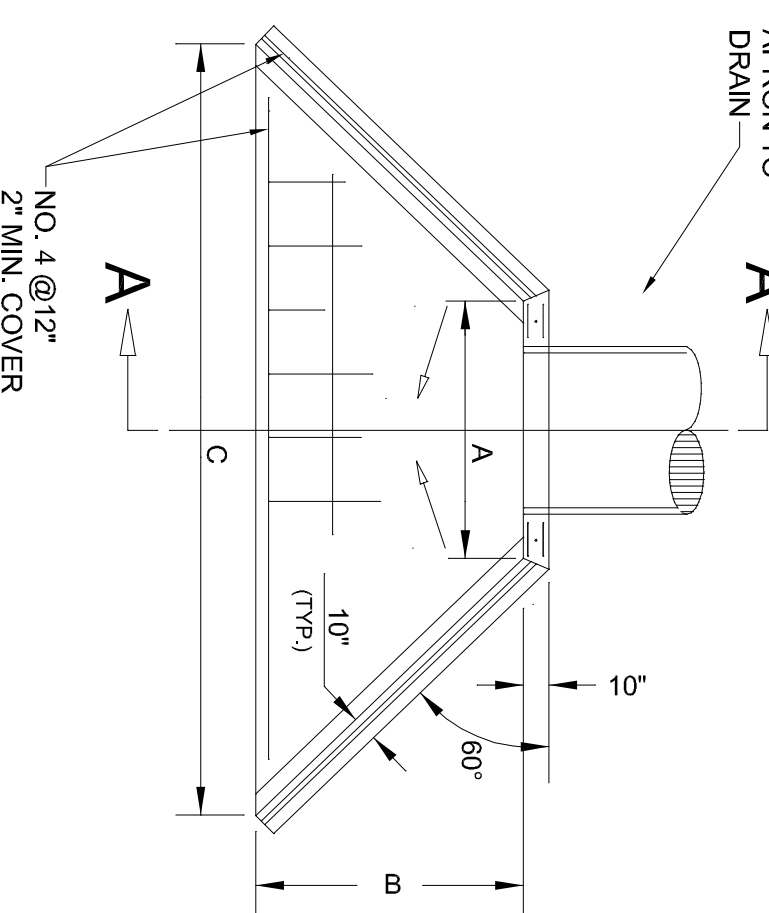
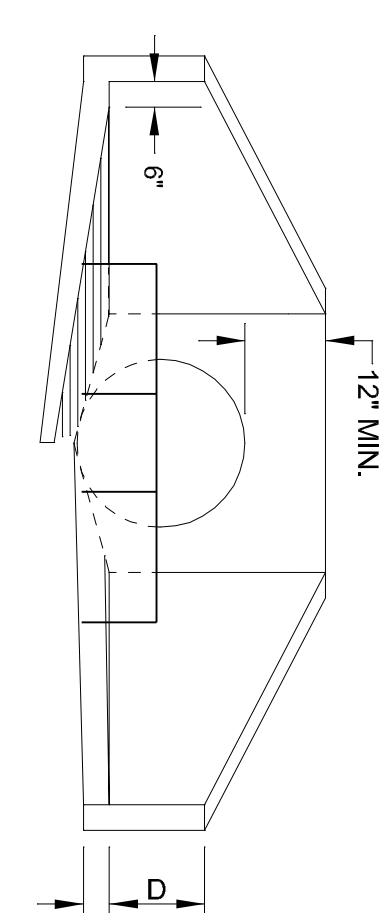


TABLE OF DIMENSIONS

DIA.	A	B	C	D	E
12"	20"	30"	60"	6"	8"
15"	23"	36"	72"	6"	8"
18"	28"	42"	84"	9"	8"
24"	34"	48"	96"	9"	8"
30"	40"	54"	108"	12"	10"
36"	48"	60"	120"	15"	10"
42"	54"	66"	132"	18"	10"
48"	60"	72"	144"	21"	12"
54"	66"	78"	156"	24"	12"
60"	72"	84"	168"	24"	12"

ALL EDGES OF EXPOSED CONCRETE TO BE CHAMFERED TO ONE INCH.

WINGED HEADWALL
NOT TO SCALE



SECTION A-A

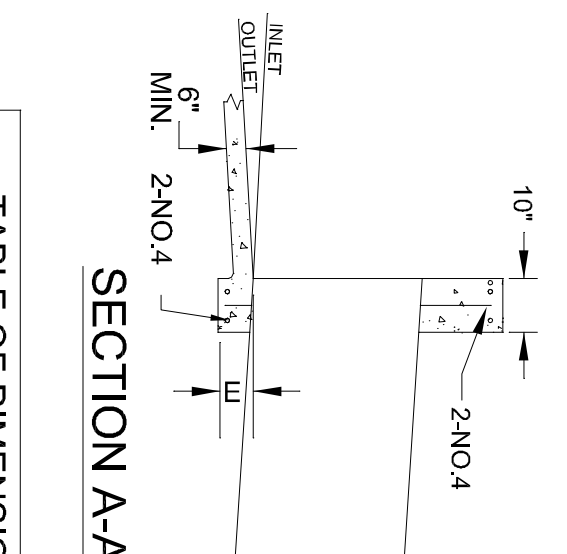
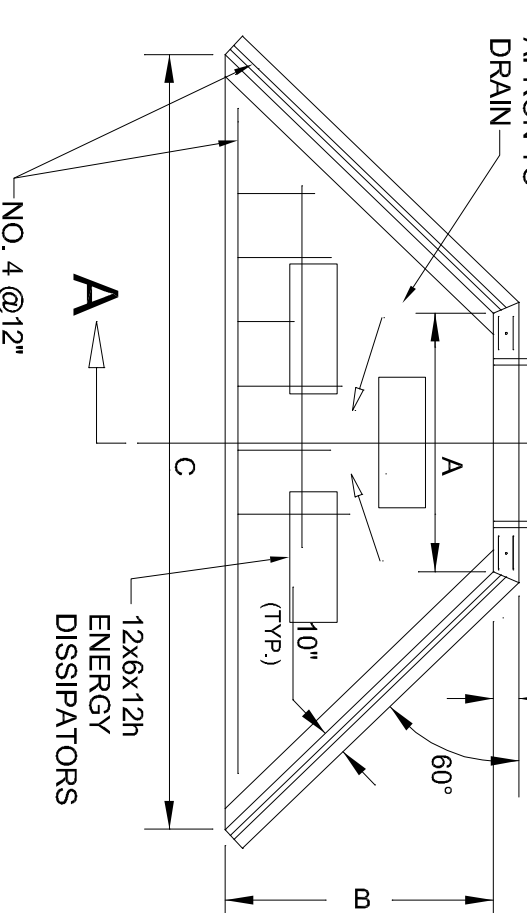


TABLE OF DIMENSIONS

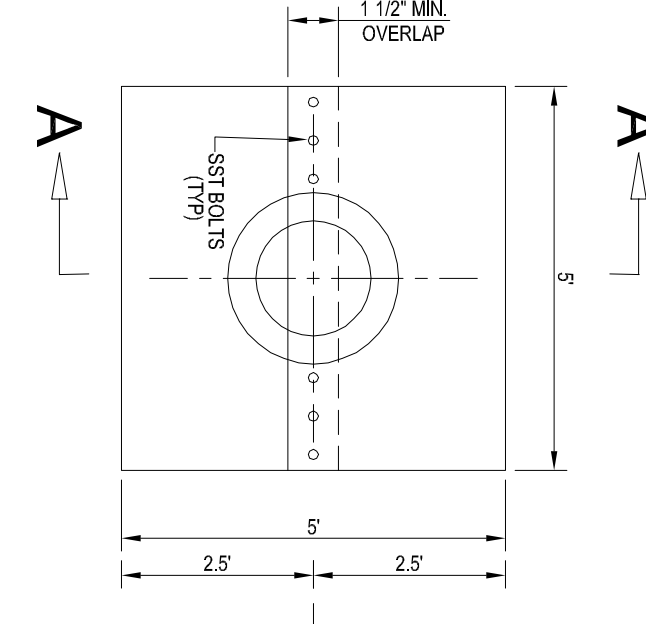
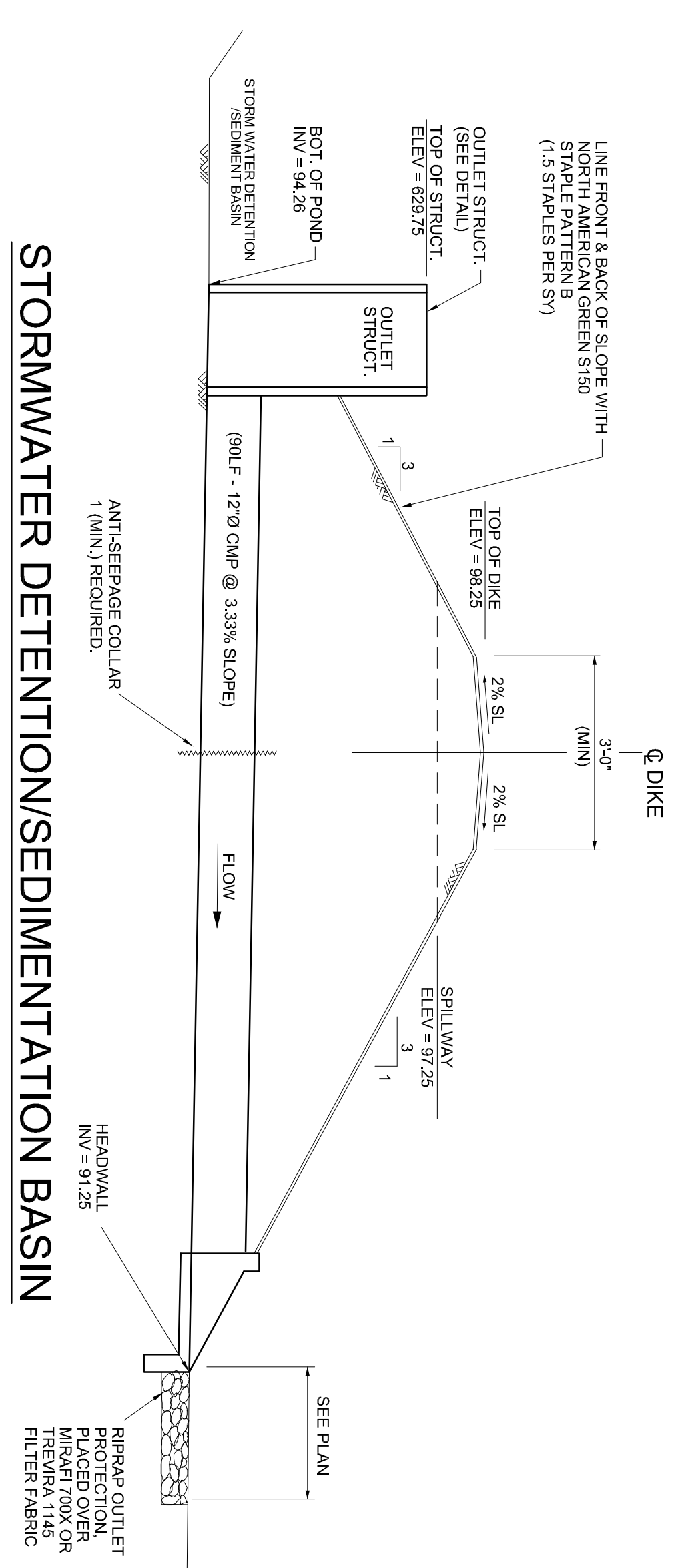
DIA.	A	B	C	D	E
12"	20"	30"	60"	6"	8"
15"	23"	36"	72"	6"	8"
18"	28"	42"	84"	9"	8"
24"	34"	48"	96"	9"	8"
30"	40"	54"	108"	12"	10"
36"	48"	60"	120"	15"	10"
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48"	60"	72"	144"	21"	12"
54"	66"	78"	156"	24"	12"
60"	72"	84"	168"	24"	12"

ALL EDGES OF EXPOSED CONCRETE TO BE CHAMFERED TO ONE INCH.

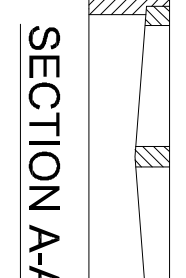


ENERGY DISSIPATING HEADWALL
NOT TO SCALE

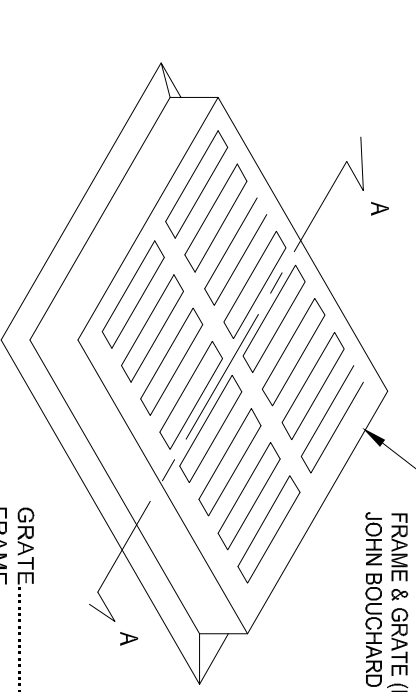
STORMWATER DETENTION/SEDIMENTATION BASIN



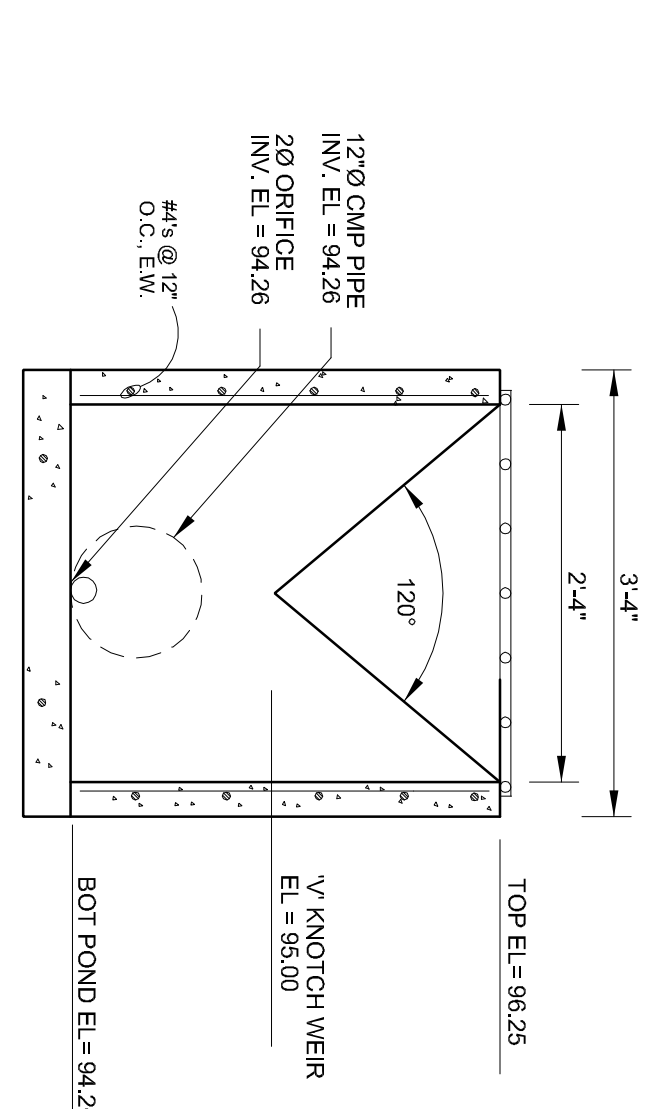
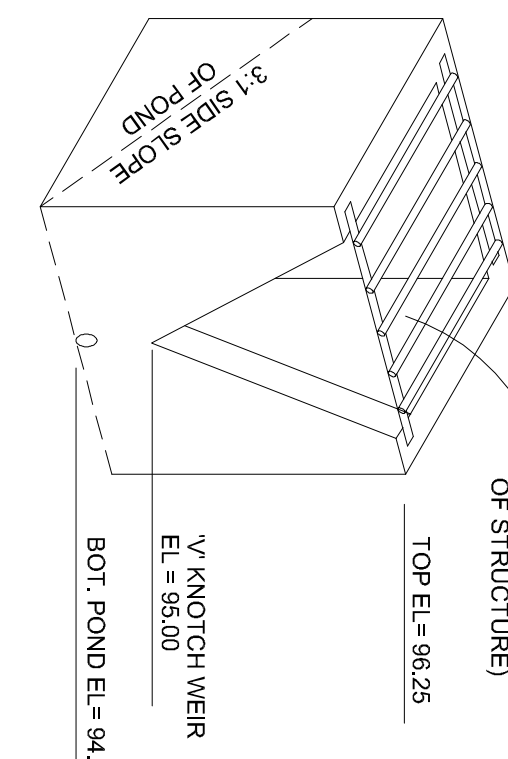
SECTION A-A



ANTI-SEEP COLLAR
NOT TO SCALE

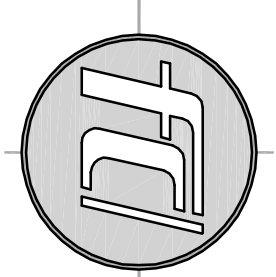


GRATE CASTING
NOT TO SCALE

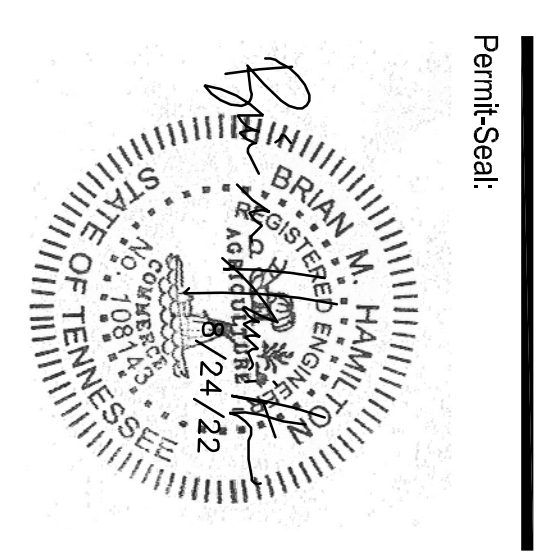


SECTION A-A

STORMWATER OUTLET STRUCTURE
NOT TO SCALE



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Client/Project:
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Lewisburg, Marshall County, TN

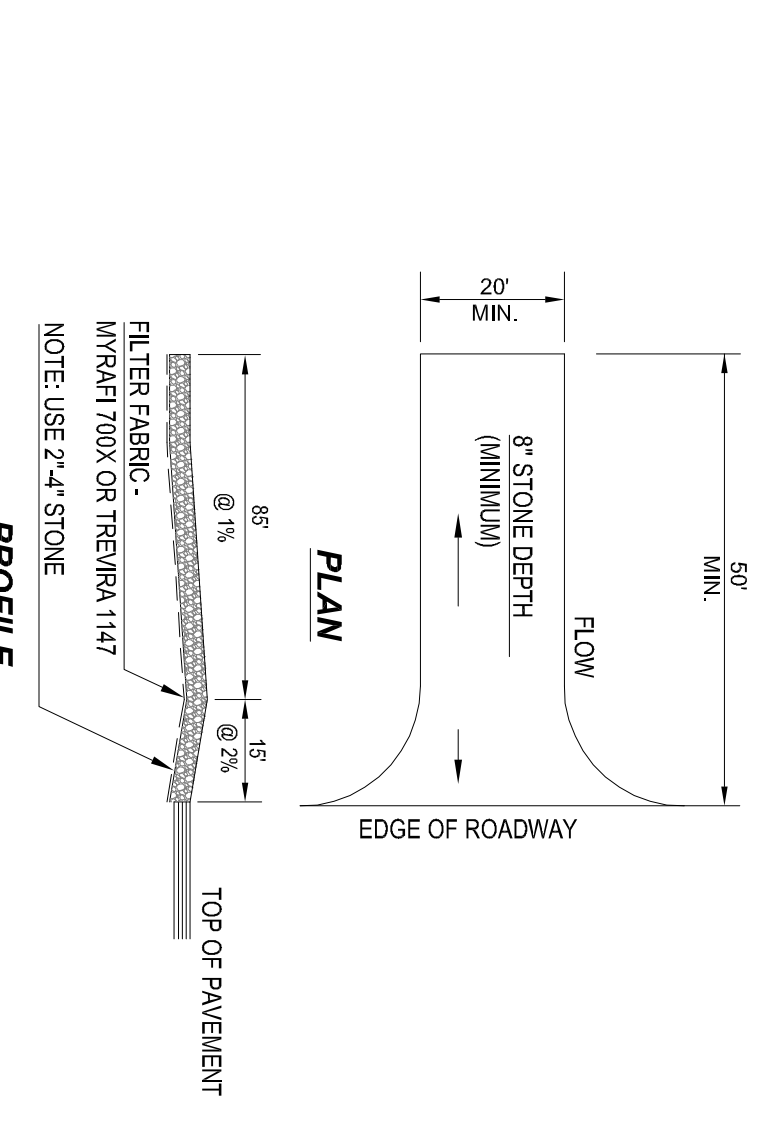
Revisions:
Item: Date:

Project No.:

Designed By: DPF
Drawn By: DPF
Checked By: DPF
Date: 8/24/22

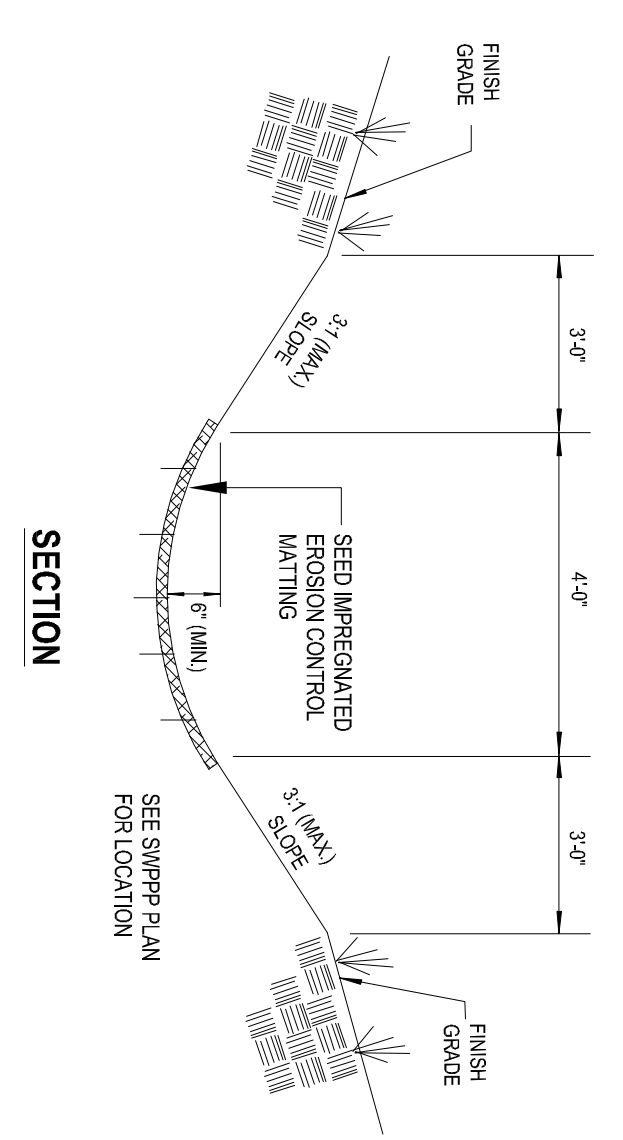
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Title: MISCELLANEOUS DETAILS

Drawing No. **C3.2**

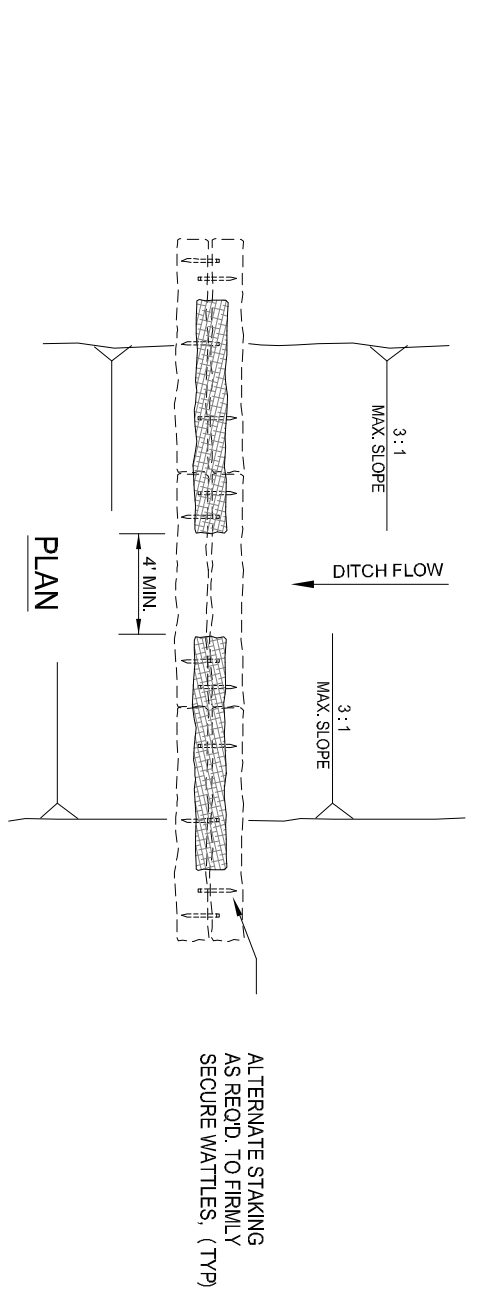


1. INSTALL A SINGLE ACCESS DRIVE USING 2-4" AGGREGATE (SEE DETAIL) PLACED OVER FILTER FABRIC. USE TO PREVENT TRACKING DIRT ONTO THE ROAD BY ALL VEHICLES.
2. MAINTAIN THROUGHOUT CONSTRUCTION UNTIL DRIVEWAY IS PAVED
3. TEMPORARY CONSTRUCTION ENTRANCE SHALL BE MAINTAINED SO AS TO PROHIBIT TRACKING OF SOILS ON TO THE ROADWAY.

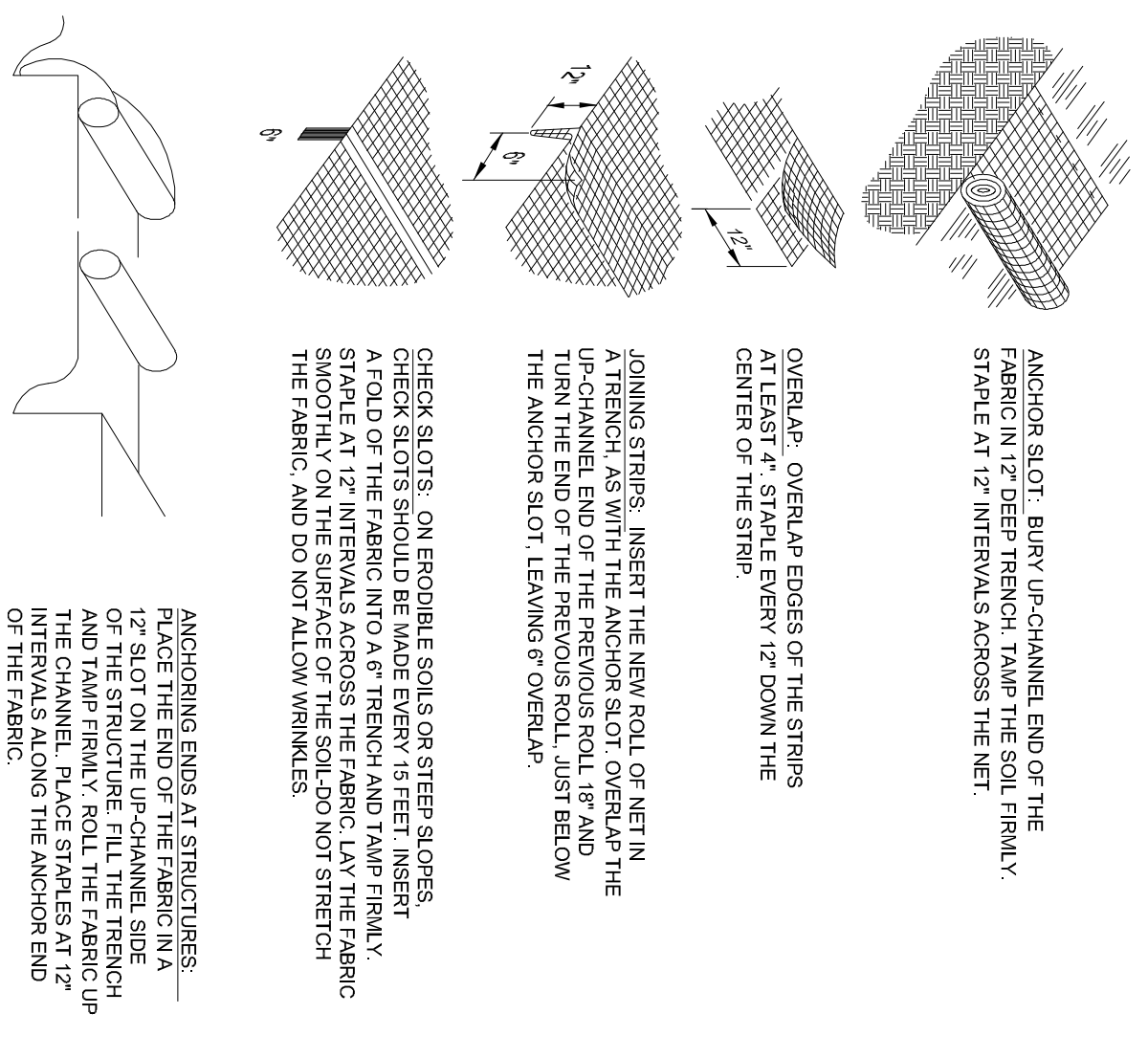
TEMPORARY CONSTRUCTION ENTRANCE (CE)
NOT TO SCALE



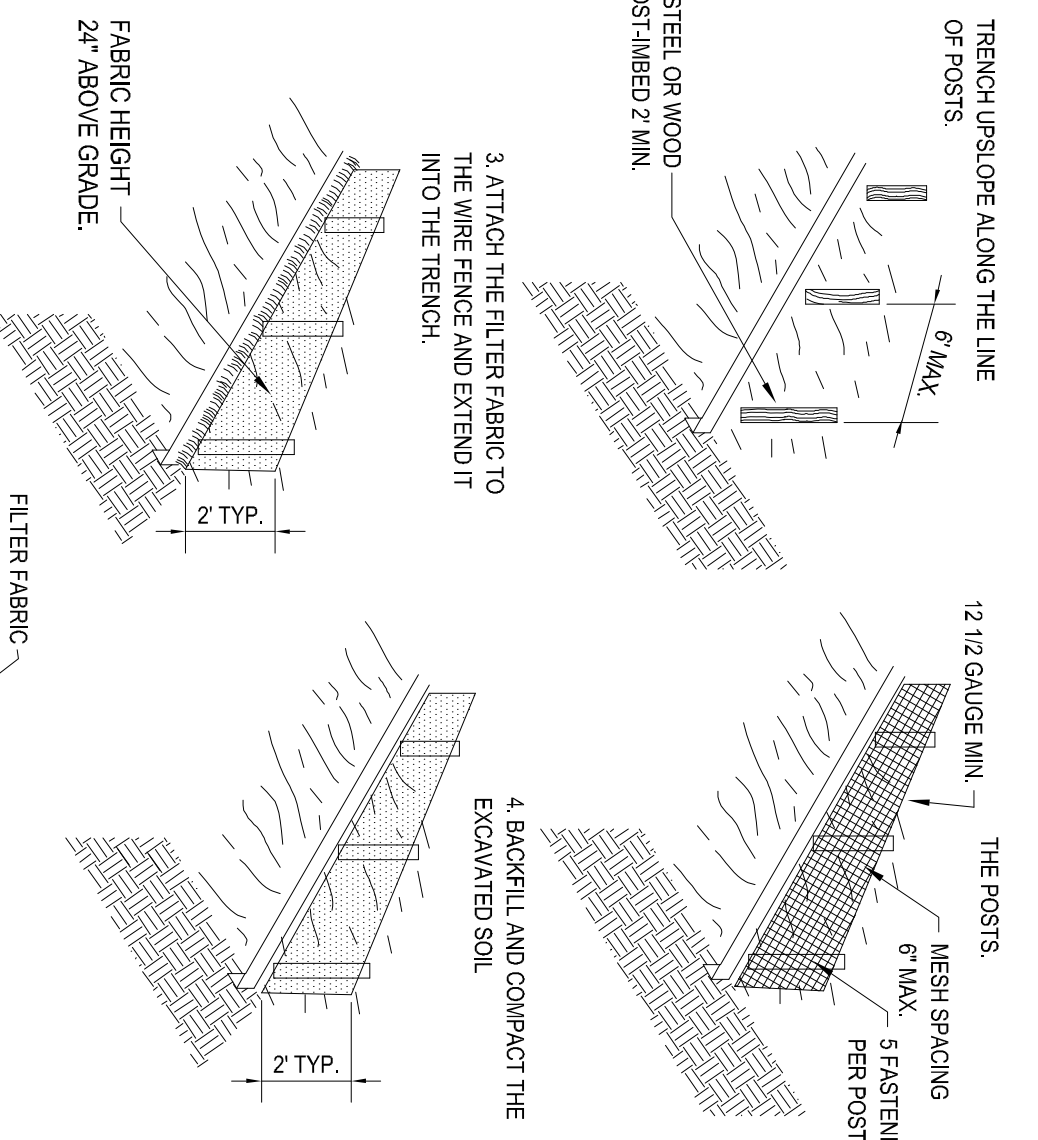
GEOTEXTILE MATTED DITCH DETAIL (GF)
NOT TO SCALE



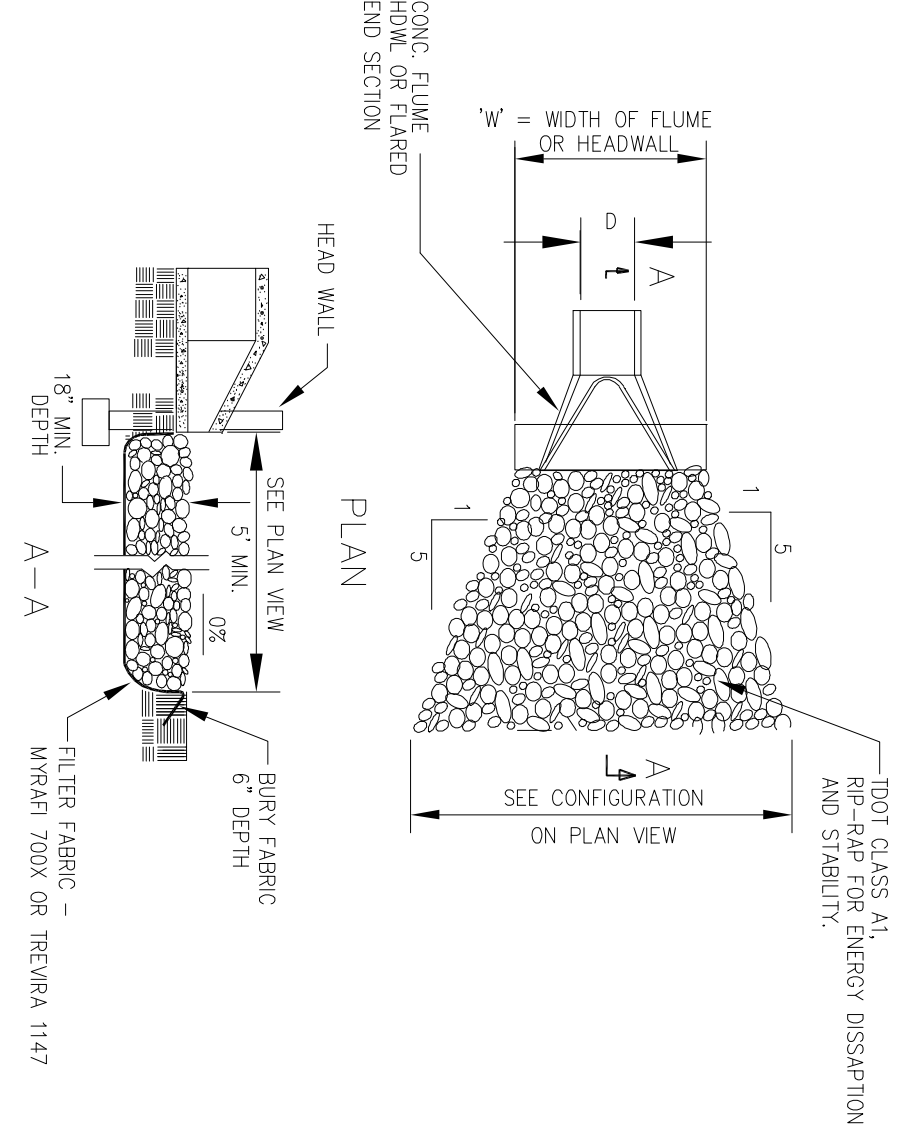
STRAW WATTLE CHECK DAM (SW)
NOT TO SCALE



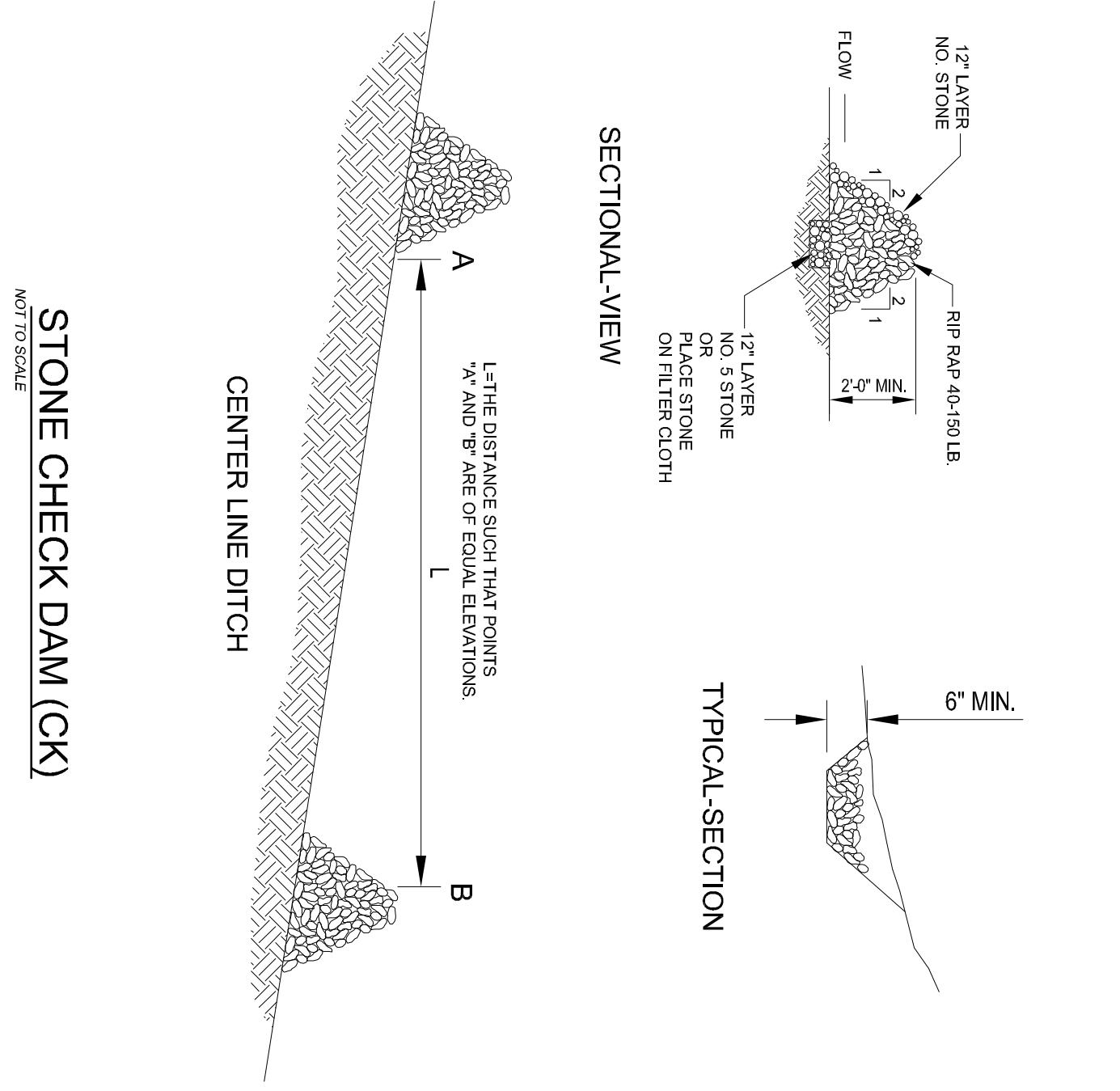
MATTED SLOPE PROTECTION (GM)
NOT TO SCALE



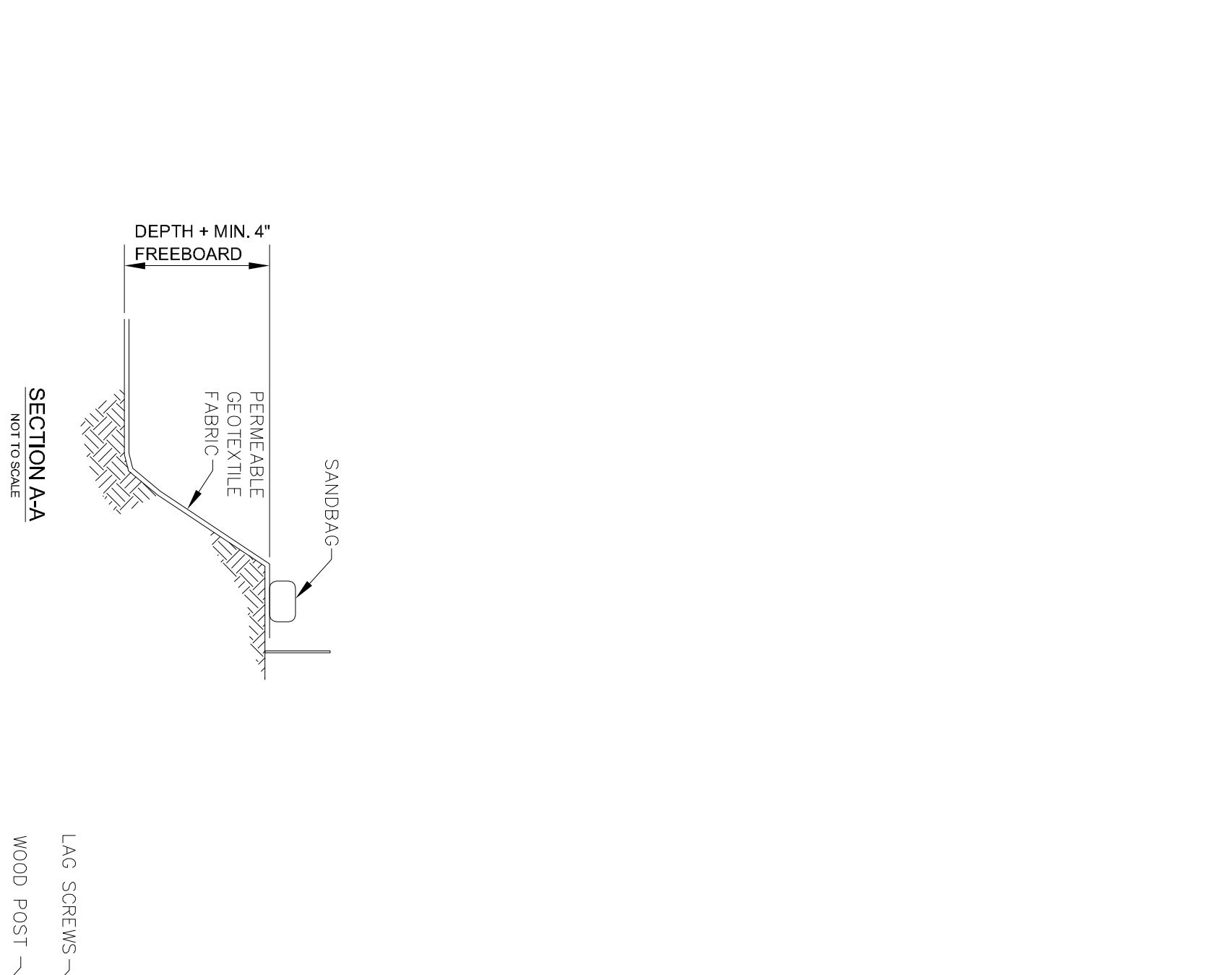
SILTATION FENCING DETAIL (SF)
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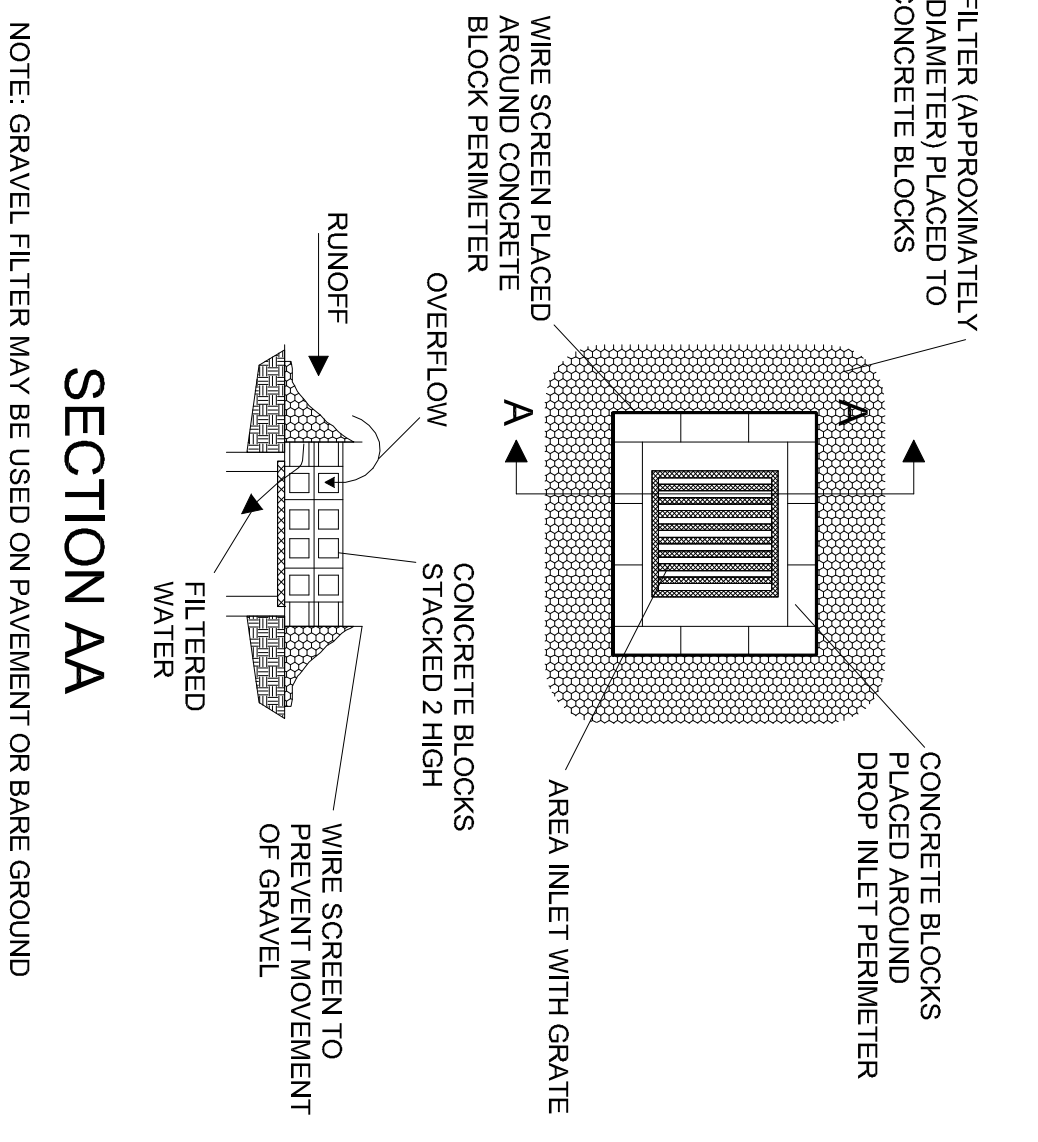
OUTLET PROTECTION DETAIL (OP)
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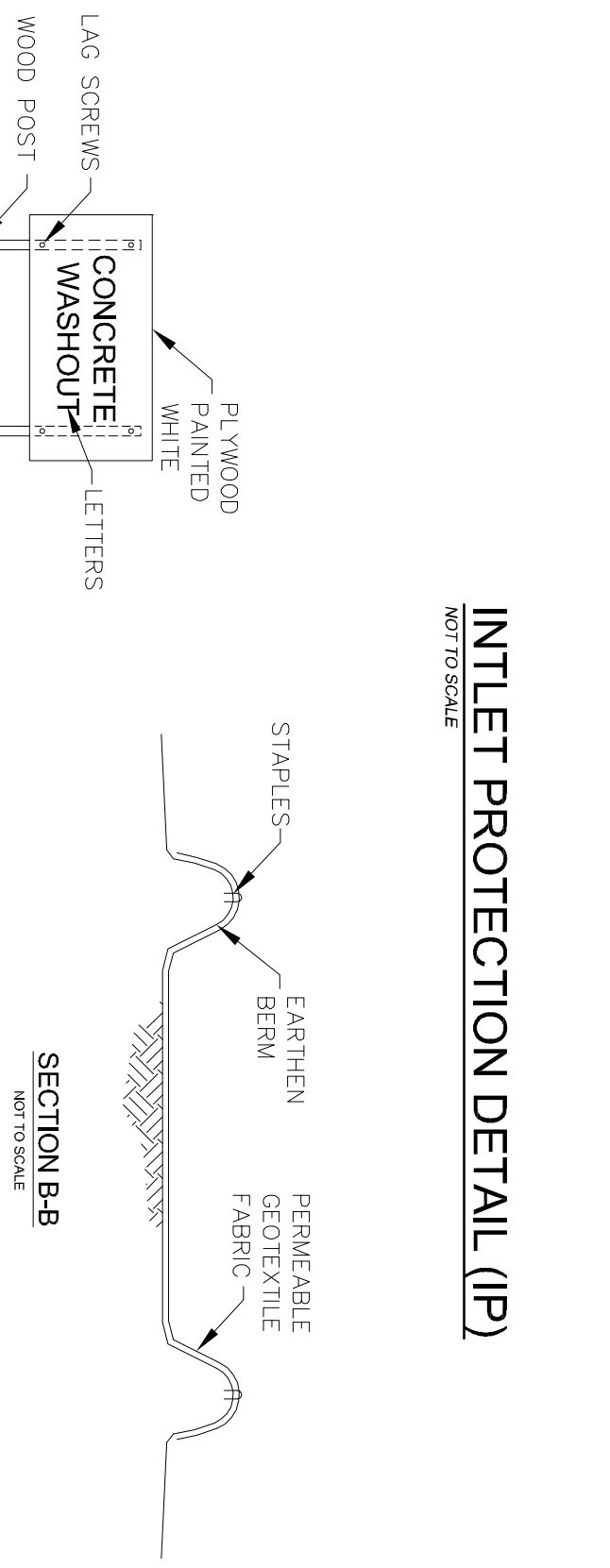
STONE CHECK DAM (CK)
NOT TO SCALE



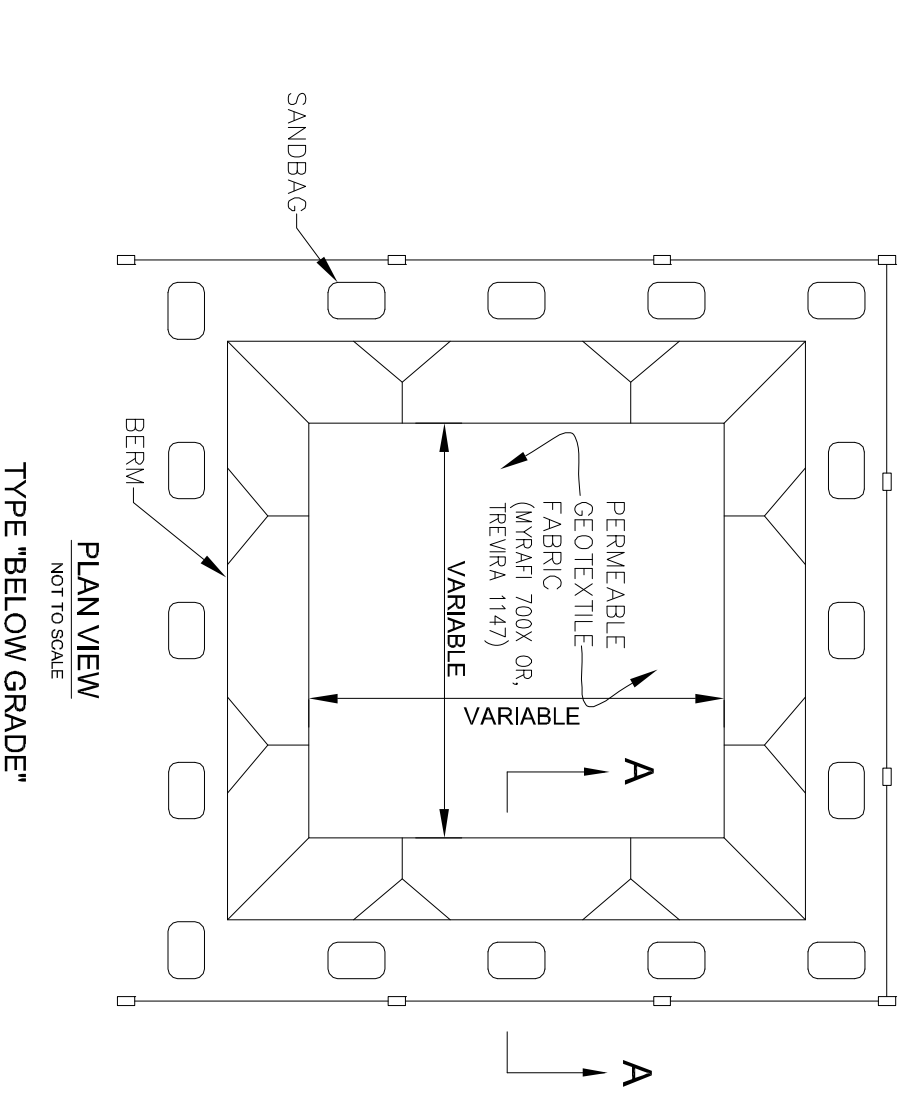
STONE FILTER RING AT HEADWALL (FR)
NOT TO SCALE



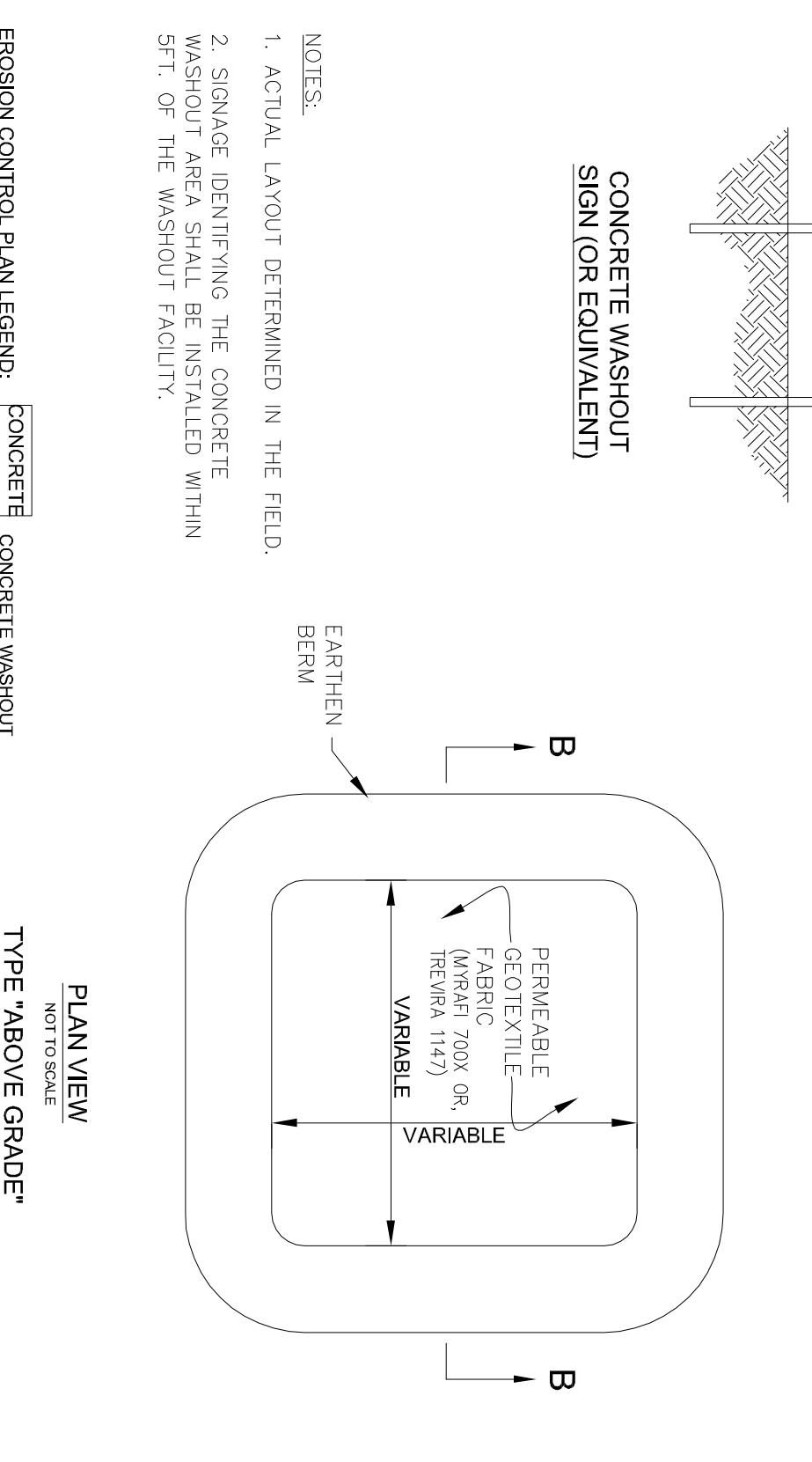
INLET PROTECTION DETAIL (IP)
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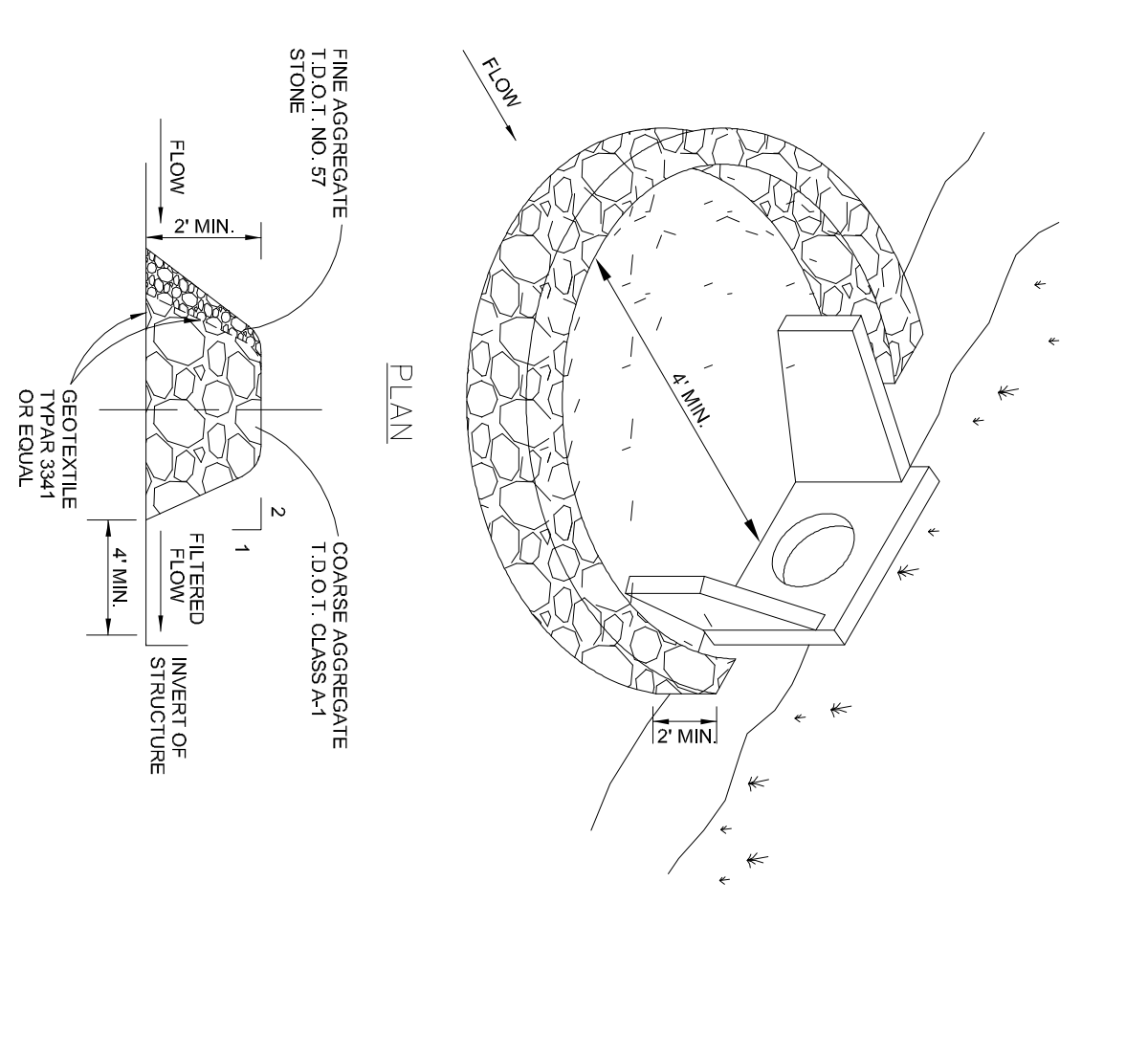
CONCRETE WASHOUT DETAIL (CW)
NOT TO SCALE



CONCRETE WASHOUT DETAIL (CW)
NOT TO SCALE



CONCRETE WASHOUT DETAIL (CW)
NOT TO SCALE



CONCRETE WASHOUT DETAIL (CW)
NOT TO SCALE

Ferlisi
Civil Design
Consulting & Design Services
P.O. Box 13333
Columbia, TN 38413
www.ferlisi.com

Permit/Seal:
BRIAN M. HALL
Professional Engineer
No. 1028
State of Tennessee
Expires 12/31/22

Client/Project:
Cameron J Coble, II
1028 Nashville Highway
Lewisburg, TN 37097

Multifamily Residential
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Revisions:
Item: Date:

Designed By: DPF
Drawn By: DPF
Checked By: DPF
Date: 8/24/22

Scale: AS NOTED

Title: MISCELLANEOUS DETAILS

Drawing No. **C3.3**