

Lewisburg Incentive Program Guide

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MARSHALL
COUNTY
T E N N E S S E E



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Taxes & Incentives

Local

Property Taxes	City	County
Rate Per \$100 Value	\$1.84	\$2.81
	Ratio of Assessment	
Residential and Farm	25%	25%
Commercial/Industrial	40%	40%
Personal (Equipment)	30%	30%
Total Local Assessment (2018)	\$273,4394,472	\$649,563,597
Hotel-Motel Tax	0 %	7.0 %
Motor Vehicle Tax Rate		\$50

State

Sales Tax 4% tax on food and food ingredients; 7% on all other tangible personal property unless specifically exempted.

Local Sales Tax Rate 2.25%

Local & State Sales Tax

Collected (FY2019): \$31,624,485

Income Tax

- Personal: 2% on Interest & Dividends
- Corporate Excise Tax: 6.5% of Tennessee taxable income
- Franchise Tax: .25% of the greater of net worth or real and tangible property in Tennessee. The minimum tax is \$100.
- Unemployment Tax: New Employers 2.7% (based on occupation) of first \$7,000

Payment in Lieu of Taxes (PILOT)

This incentive is available to both new and expanding industries and begins with a request for a [PILOT Application Form](#) from [City of Lewisburg Director of Economic Development Greg Lowe](#).

Outline of Incentive

- A Property Tax Abatement offered by Lewisburg Industrial Development Board and City Council
- Requires only a 1-Page Application (*see link above*) and Application Fee
- Two Votes to Approve within 14-21 Days of Receipt of Application & Fee
- Tax Abatement Available for Real (*Land/Building*) and Personal (*Machinery/Equipment*) Property
- Tax Abatement includes both City and County Taxes

Requirements (along with application and fee)

- Minimum Capital Investment in Real Property of \$500,000 AND/OR
- Minimum Capital Investment in Personal Property of \$150,000
- PILOT, Project and Tax Agreements (*and Bill of Sale when applicable*) documents to be drafted by attorneys, reviewed and signed by both parties at expense to Company/Prospect
- Annual Review by State & Local with Mandated Reporting to ensure compliance

Incentive Based On

- Capital Investment and Overall Economic Impact of Project
- Number of Net New Jobs and Wage Rates above Average Rates

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PILOT Incentive Processes

Once the site selection process of a Prospect/Company has selected Lewisburg site:

1 – Prospect/Company requests PILOT Application from Economic Development Director Greg Lowe

- Prospect/Company must fill out [PILOT Application](#) and submit to Economic Development Director Greg Lowe

2 - Along with the submittal of the PILOT Application:

- Prospect/Company must submit a PILOT Application Fee
 - *Fee is calculated as 0.0005% of Total Project Capital Investment Amount*
 - *Fee is to be no less than \$500.00*
 - *Fee is to be no more than \$5,000.00*

Once the PILOT Application and Fee has been submitted by Prospect/Company, Approval Request will be sent to the Lewisburg Industrial Development Board at its next regularly scheduled meeting.

- The Lewisburg Industrial Development Board meets each First Monday of the Month at the Historic First Avenue Building – 207 1st Ave. North, Lewisburg, TN at Noon (Central).

Once the Lewisburg IDB Approves the Recommendation of the PILOT request to the Lewisburg City Council, the Final PILOT Approval request will be sent to the Lewisburg City Council at its next regularly scheduled meeting.

- The Lewisburg City Council meets each Second Tuesday of the Month at the Lewisburg City Administration Building – 131 East Church St., 2nd Floor, Lewisburg, TN at 6 p.m. (Central).

Once the City Council votes Approval, the PILOT is in effect contingent upon the finalization of documents to be drafted by the City of Lewisburg/IDB Attorney and/or by Company attorney at cost to company.

Such Documents include:

Lease Agreement

- *(An agreement to deed property under PILOT to the Lewisburg Industrial Development Board, as required by State of Tennessee Statute)*

Project Agreement

- *(An agreement between Lewisburg IDB and Prospect/Company accepting the PILOT structure and procedures)*

Tax Agreement

- *(An agreement between City, County and Prospect/Company accepting the PILOT structure and procedures)*

Bill of Sale on Equipment under PILOT

- *(This includes serial numbers, equipment name and description and values)*

Once the documents above have been reviewed, approved and signed by all parties, the Prospect/Company must provide to Lewisburg/IDB Attorney:

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Compliance Reports Requirements

Each year, the Prospect/Company must submit to the State of Tennessee Board of Equalization and to the Assessor of Property of Marshall County:

An Annual Report Form at Calendar Year's End

- *A Notice will be sent to City, County and Prospect/Company*
- *Form can be found online per notice*

An Annual PILOT Report Form at Calendar Year's End

- *An Update on Project Progress to the City of Lewisburg and Lewisburg IDB*
- *Request for this information will be made by Director Greg Lowe by email, online survey, phone call and/or mail*

Assistance in Filling out the Necessary Forms, Receiving of Necessary Forms and/or Submission of Necessary Forms is available by contacting Director Greg Lowe, Attorney Steve Broadway or Assessor Michelle Clark.

Lewisburg/IDB Attorney

Steve Broadway

(931) 580-5979

sbroadway@fpunet.com

Marshall County Assessor of Property

Michelle Clark

(931) 359-3238

michelle.clark@cot.tn.gov

Lewisburg ECD Director

Greg Lowe

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Location & Logistics

Labor & Workforce

Education & Training

Quality of Life/Place

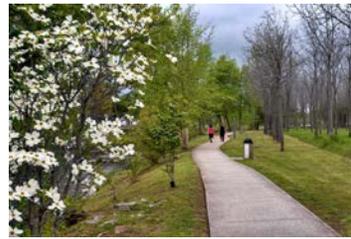
Leadership & Growth

Business & Industry Support

Lewisburg is situated to help you succeed. We have all the tools and amenities you need to thrive at home or in the office, the classroom, the boardroom, the production floor and even the ground floor. Let us prove to you that your decision to come here will be the right one.

“This community has totally proven that our decision was the right one.”

Matt Jung - President, Comfort Research



www.lewisburgtn.gov

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