

A. General Provisions

1. Purpose

The purpose of the Lewisburg Corridor Special District is to implement the principles established in the Vision Lewisburg 2035 Plan.

2. Intent

It is the intent of the Lewisburg Corridor Special District to:

- a. Create more attractive gateways into Lewisburg;
- b. Ensure higher quality of development for new construction;
- c. Ensure higher quality streetscapes through improved access, landscaping, and screening;
- d. Promote a mixture of uses along corridors;
- e. Create more pedestrian-friendly corridors.

3. Applicability

a. Territorial Application

The Lewisburg Corridor Special District applies to property located along portions of Ellington Parkway, Nashville Highway, and East Commerce Street within the City limits, as shown in SECTION C1.

4. Transitional Provisions

a. Existing Development

Any existing use, lot, building or other structure legally established prior to the effective date of the Lewisburg Corridor Special District that does not comply with any provision of these specific regulations is a legal non-conforming use pursuant to ARTICLE VI.

b. New Development

Except as provided elsewhere in this section, upon the effective date of the Lewisburg Corridor Special District or any subsequent amendment, any new building or other new structure must be constructed or developed only in accordance with all applicable provisions of the Lewisburg Corridor

Special District. No excavation or filling of land or construction of any public or private improvements may take place or commence except in conformity with the Lewisburg Corridor Special District.

c. Additions

Except as provided elsewhere in this section, upon the effective date of the Lewisburg Corridor Special District or any subsequent amendment, any addition to an existing building or buildings must be constructed or developed only in accordance with all applicable provisions of the Lewisburg Corridor Special District if any of the following criteria are met:

- i. The addition fronts a public right-of-way; or
- ii. The gross floor area of the addition exceeds 25% of the gross floor area of the existing building or structure being modified.

d. Modifications

Except as provided elsewhere in this section, upon the effective date of the Lewisburg Corridor Special District or any subsequent amendment, any modification to an existing element of a building or buildings must comply with the provisions of the Lewisburg Corridor Special District if all of the following criteria are met:

- i. The building element is regulated by the Lewisburg Corridor Special District; and
- ii. The proposed modification fronts a public right-of-way.

Only modifications that meet the above criteria are required to comply with the provisions of the Lewisburg Corridor Special District. Modifications shall not force compliance of the whole building.

e. Repair and Maintenance

Routine repairs and maintenance of an existing building or site are permitted and are not required to comply with the provisions of the Lewisburg Corridor Special District. If elements have deteriorated beyond the point where they can be retained, they shall be replaced in kind. Elements that are not replaced in kind shall be considered Modifications and are subject to SECTION 5.050.07(A)(4)(d).

f. Changes of Use

Except as provided elsewhere in this section, upon the effective date of the Lewisburg Corridor Special District or any subsequent amendment, any change of use within an existing building or structure must comply with the provisions of the appropriate zoning district with the exception that new signage must comply with the signage provisions of the Lewisburg Corridor Special District.

g. Previously Issued Permits and Pending Applications

Previously issued permits and pending applications will be processed in accordance with and decided pursuant to the law existing on the date the application was filed.

5. Other Provisions of the Lewisburg Zoning Ordinance

Provisions of the Lewisburg Zoning Ordinance that are not varied by the provisions set forth in this section shall apply within the Lewisburg Corridor Special District, whether or not such other provisions are specifically referenced in the Lewisburg Corridor Special District. The lack of a cross-reference to other provisions of the Lewisburg Zoning Ordinance does not exempt a property, building, structure, or use from such provisions.

6. Conflicting Provisions

- a. If there is a conflict between the provisions set forth in this section and any other City ordinance or regulation, the provisions of this section control.
- b. The graphics in this section are for illustrative purposes only. Where there is a conflict between a graphic and the text, the text controls.

B. Administrative Procedures

1. Pre-Application Conference

A pre-application conference with City staff is recommended prior to any application for approval under the Lewisburg Corridor Special District. The purpose of the pre-application conference is to provide an overview of the materials needed to submit an application and a description of the process; answer questions related to development within the Lewisburg Corridor Special District; and determine and clarify issues that may arise. The Pre-Application conference shall occur at the biweekly Development Committee Meeting. Applicants should contact the Planning and Codes Department for application deadlines and submittal requirements.

2. Development Plan Required

Prior to the issuance of building permits, a Development Plan meeting the following requirements must be submitted and approved by the Planning Commission:

- a. Final site plan prepared by a Tennessee licensed engineer or surveyor for the development to include the site boundary, topographic information, flood and other natural feature information, location of all buildings or other structures, interior streets, parking areas, open space, utilities, and all other features and facilities to be installed or used in connection with the proposed development. Applicable calculations that indicate compliance with the provisions of the Lewisburg Corridor Special District shall be included on the site plan in tabular format.
- b. Detailed landscape plan to include the location and species of all plantings and the location and design of all fences and walls.
- c. Elevations of all building facades that front a public right-of-way to include dimensions, materials, and applicable calculations in tabular format to indicate compliance with the provisions of the Lewisburg Corridor Special District.
- d. Signage Plan to include the location and design of all signage.

C. Sub-District Standards

1. Zoning

Zoning shall revert to the zoning districts described in Article V and as shown on the official Zoning Map of the City of Lewisburg.

2. Standards Applicable to All Districts

a. Lot Coverage

- i. Coverage does not include paved areas such as driveways; surface parking; uncovered porches, stoops or patios; and in-ground swimming pools.

b. Height

- i. Height shall be measured in stories and feet. Measurement in feet shall be the vertical distance from the highest point of grade along the primary street building line to the bottom of the eave on a sloped roof or the highest point of the roof surface of a flat roof

not including a parapet. Height limitations shall be as per the applicable zoning classification.

- ii. Non-occupiable roof elements such as spires, cupolas, water towers, and similar structures may exceed the maximum height requirements.
- iii. Chimneys, flagpoles, skylights, parapets and similar structures may exceed the maximum height requirements by 6 feet.
- iv. Stairways to the roof; rooftop shade structures, elevator penthouses; and rooftop mechanical equipment may exceed the maximum height requirement by 10 feet.

c. Articulation/Transparency

- i. Transparency shall be measured by dividing the area of windows and doors by the total area of a story.

- ii. Attachments

- 1. Awnings/canopies shall have a minimum clear height above a sidewalk of 9 feet and a minimum depth of 6 feet. A modification to these standards may be approved by the City to fit an awning/canopy on an existing building. Awning/canopy encroachment into a public right-of-way shall be approved by the authority with ownership of the right-of-way. Awnings and canopies shall not be internally illuminated.
- 2. Balconies shall have a minimum clear height above a sidewalk of 9 feet and a minimum clear depth of 4 feet. Balconies shall not be fully enclosed.
- 3. Bay windows shall have visible support, either by extending the bay to grade with a foundation or transferring the projection back to the wall with beams, brackets, or brick corbeling.
- 4. Porches shall have a minimum clear depth of 6 feet excluding steps. Porches may not encroach into a public right-of-way. Porches shall not be fully enclosed.

5. Stoops shall have a minimum clear depth of 4 feet. Stoops may not encroach into a public right-of-way. Stoops shall not be fully enclosed.

d. Parking

- i. Parking and loading requirements shall be according to ARTICLE IV of the Zoning Ordinance.
- ii. Required parking, with the exception of required accessible spaces, may be located off-site, if located within 600 feet from the primary pedestrian entrance.
- iii. The Planning Commission may approve a shared parking plan for a mixed-use project when uses are located near one another and have different peak parking demands and operating hours, based upon a favorable recommendation of a shared parking study.
- iv. Surface parking lot lighting shall be appropriate in scale for both the pedestrian and the vehicle. Lighting that minimizes light trespass, pollution, and uplight shall be utilized.
- v. No parking space shall be more than 90 feet from a tree. There shall be no more than 12 consecutive parking spaces without being bordered by a landscape island for interior bays or a landscape peninsula for perimeter bays.

e. Signage

- i. Billboards are prohibited.
- ii. The following signs are exempt:
 1. Signs required for legal notices and other official instruments;
 2. Flags and insignias of governmental, religious, charitable or fraternal organizations with an area of less than 50 sf and mounted on a single pole;
 3. Decorative flags and bunting as authorized by the Council for town-wide celebrations, commemorations or conventions;

4. Memorial signs, tablets or cornerstones, names of buildings and dates of erection when included as an integral part of the building and constructed of durable non-combustible material or cut into masonry surfaces;
5. Directional signs and symbols not exceeding 3 sf in area, used solely for the purpose of traffic or pedestrian direction and placed on the property to which the public is directed;
6. Holiday lights and decorations during customary holiday periods.

iii. The following temporary signs are permitted:

1. Signs for political purpose, which shall be removed within 14 days after an election;
2. Special event signs erected no sooner than 14 days before the event, and removed within 7 days after the event. Sign permit is required from City of Lewisburg;
3. Signs to indicate the opening of a new business, change of use, or going out of business sale displayed within the first 60 days the occupancy is open or the last 90 days before closing. Sign permit is required from City of Lewisburg;
4. Signs announcing construction not exceeding 32 sf and 10 feet in height; and
5. Signs announcing real estate availability.

iv. Nonconforming Signs

1. An existing sign may remain exempt from full compliance with the provisions of the Lewisburg Corridor Special District provided the sign is maintained in good condition at all times and is not abandoned.
2. An existing sign shall be brought into compliance with the provisions of the Lewisburg Corridor Special District, if at any time the sign is altered, repaired, restored or rebuilt to the extent that the cost exceeds fifty percent of the estimated replacement cost of

the sign (in current dollar value). If the alteration or repair is caused by involuntary damage or casualty, this standard will not apply, and the sign may be altered or repaired to any extent.

- v. Any combination of awning, canopy, or wall signs shall be limited to two signs per tenant space on a primary street with one additional sign permitted on a secondary street.

vi. Awning Signs



- 1. Awning signs shall have a maximum height of 2 feet and a maximum area of 16 square feet.
- 2. Awning signs shall be limited to awnings above ground story windows and doors.
- 3. Awning signs shall not be internally illuminated.

vii. Canopy Signs



- 1. Canopy signs shall have a maximum height of 2 feet and a maximum area of 16 square feet.

2. Canopy signs shall not extend beyond the ends of the canopy.
3. Canopy signs shall be limited to one sign per canopy.
4. Canopy signs may be internally or externally illuminated.

viii. Ground-Mounted Signs



1. Ground-mounted signs shall have a maximum height of 10 feet; a maximum depth of 2 feet; and a maximum area of 80 square feet. The base of a ground-mounted sign shall have a maximum height of 2 feet. Ground-mounted signs used to advertise for multiple businesses on one surface shall have a maximum area of 150 square feet.
2. Ground-mounted signs shall be limited to one sign per lot frontage. One additional ground-mounted sign is allowed for lots 1000 feet wide and greater.
3. Ground-mounted signs shall set back a minimum of 5 feet from the primary or secondary street lot line and a minimum of 10 feet from all other lot lines.
4. Ground-mounted signs may be internally or externally illuminated.

ix. Projecting Signs



1. Projecting signs shall have a maximum height of 3 feet; a maximum projecting width of 4 feet; a maximum depth of 6 inches; and a maximum area of 9 square feet. A projecting sign shall have a minimum of 6 inches and a maximum of 12 inches of space between facade and sign.
2. Projecting signs shall be limited to one sign per tenant space.
3. Projecting signs shall be located between ground story window and door heads and second story windowsills. In single story buildings, projecting signs shall not extend above roof eaves on a sloped roof or above the surface of a flat roof.
4. Projecting signs shall not be internally illuminated.

x. Wall Signs



1. Wall signs shall have a maximum depth of 1 foot and a maximum area of 32 square feet.
2. Wall signs shall not extend above roof eaves on a sloped roof or above the parapet on flat roofs.
3. Wall signs shall not cover windows or doors.
4. Wall signs may be internally or externally illuminated.

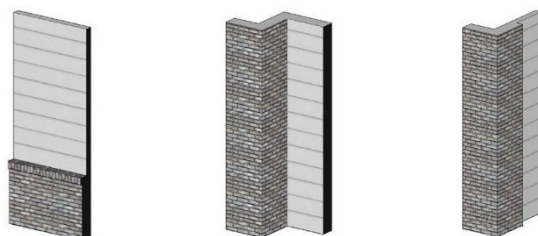
xi. Window / Door Signs



1. Window signs shall be limited to ground story windows and doors.
2. Window signs shall not cover more than 20% of ground story windows and doors.

f. Architecture

- i. Street-facing building facades shall be oriented parallel to the street frontage.
- ii. Street-facing building facades shall only change primary materials along a horizontal line; at inside corners; or outside corners where they wrap the corner a minimum of 2 feet.



Horizontal Line	Inside Corner	Outside Corner 2 ft. Wrap
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- iii. Street-facing building facades shall consist of one primary material. The primary material shall make up a minimum of 60% of the total facade. Primary materials shall consist of brick, natural or cast stone, integral color block or ground face block. Alternative primary materials must be approved by the Planning Commission as part of site plan approval. Building sides that are visible from the street shall contain a minimum of 40% coverage of the primary material from the building front.
- iv. Secondary building materials of siding, metal, or stucco shall be complementary to the primary building material and generally of muted colors. Bright colors may be used for accent or contrast.
- v. With the exception of transoms and decorative windows, windows shall be square or vertically proportioned and rectangular in shape. Windows shall not be flush-mounted to the exterior of the facade on street-facing elevations. Brickmould is required for masonry wall applications.
- vi. Window shutters are not required. If installed, shutters shall be sized and shaped to match their openings. Shutters shall be operable or have the appearance of operability including shutter hardware.
- vii. Building roofs shall be flat, hipped, or gabled. Flat roofs shall include a parapet on all street-facing elevations. The primary material for parapets shall match the material of its associated facade.

g. Landscaping/Screening/Sidewalks

- i. Commercial and multi-family residential facilities shall provide a landscaped buffer area between the corridor right-of-way and the developed portion of the site. The landscape buffer shall be a minimum of 12-feet wide and shall contain a variety of trees and shrubs. A minimum of one tree per 30 linear feet of buffer, or portion thereof, shall be required.
- ii. Single-family residential properties shall contain shrubs and other appropriate plantings along the base of the

structure on the front side of the building. Single-family residential properties shall contain at least one tree between the corridor right-of-way and the structure.

- iii. Mechanical equipment shall be placed on the roof; in the rear or side of buildings; or otherwise visually screened from the street. Mechanical equipment may encroach into the side and rear setbacks.
- iv. Dumpster locations shall be screened on at least three sides from public view by an opaque impact-resistant fence or wall of sufficient height to screen the dumpster.
- v. ADA compliant sidewalks of six-foot width shall be installed along all properties fronting the Lewisburg Corridors, regardless of whether the Lewisburg Corridor is the primary or secondary street of the development. If the development is located in an area where no adjoining sidewalks exist then the developer may choose to pay into a Sidewalk Construction Fund in lieu of constructing the sidewalk. The amount to be paid into the Sidewalk Construction Fund will be \$12 per square foot of sidewalk that would be required to span the width of the lot frontage along the Lewisburg Corridor. The City of Lewisburg will utilize the Sidewalk Construction Fund to construct sidewalks where and when the City of Lewisburg deems appropriate along the Lewisburg Corridors.

h. Miscellaneous

- i. Drive-through facilities, including but not limited to stacking lanes, refuse storage, menu and ordering boards, and drive-up windows shall be located to the side or rear of the building. Drive-through facilities for food establishments shall provide a minimum of 4 queuing spaces. Drive-through facilities for financial institutions, pharmacies, and other commercial uses shall provide a minimum of 3 queuing spaces.

D. Definitions

The following words, terms, and phrases are supplements to the definitions in SECTION 2.020 and are hereby defined as follows and interpreted as such throughout the Lewisburg Corridor Special District:

BALCONY: A covered or uncovered, occupiable platform attached to a building facade.

BAY WINDOW: A space with windows that projects outward from a building facade and forms a recess within.

BLANK WALL: The portion of a building facade that does not include windows or doors; recesses or projections six inches or greater; or a change in material.

ENCROACHMENT: A portion of a building or element attached to a building that is permitted to extend into a required setback.

ENTRANCE: An opening intended for the entry or exit of pedestrians in a building.

FACADE: The face of a building.

HEIGHT, GROUND STORY: A building story that is located at street level measured from finished floor to the finished floor of the level above.

HEIGHT, UPPER STORY: A building story located above the ground story that is measured finished floor to the finished floor of the level above.

OPENING: A window or door within a building facade.

PORCH: A covered, occupiable platform attached to a building facade near grade level.

RAISED FOUNDATION: The distance the finished floor of the ground story is elevated above the average elevation of grade along the primary street building line.

ROOF: The structure forming the upper covering of a building including parapet walls.

SIGN, AWNING: A sign where graphics or letters are directly applied the awning surface and are an integral part of the awning.

SIGN, CANOPY: A sign where graphics or letters are attached to a canopy.

SIGN, GROUND-MOUNTED: A sign wholly independent of a building facade that is attached to the ground along its length or by posts at each end.

SIGN, PROJECTING: A sign attached and perpendicular to a building facade that projects more than one foot from the building facade it is attached to.

SIGN, WALL: A sign applied to or attached to a building facade that projects no more than one foot from the building facade it is attached to.

SIGN, WINDOW: A sign affixed to the inside of a window or door intended to be visible from through the window or door it is affixed to.

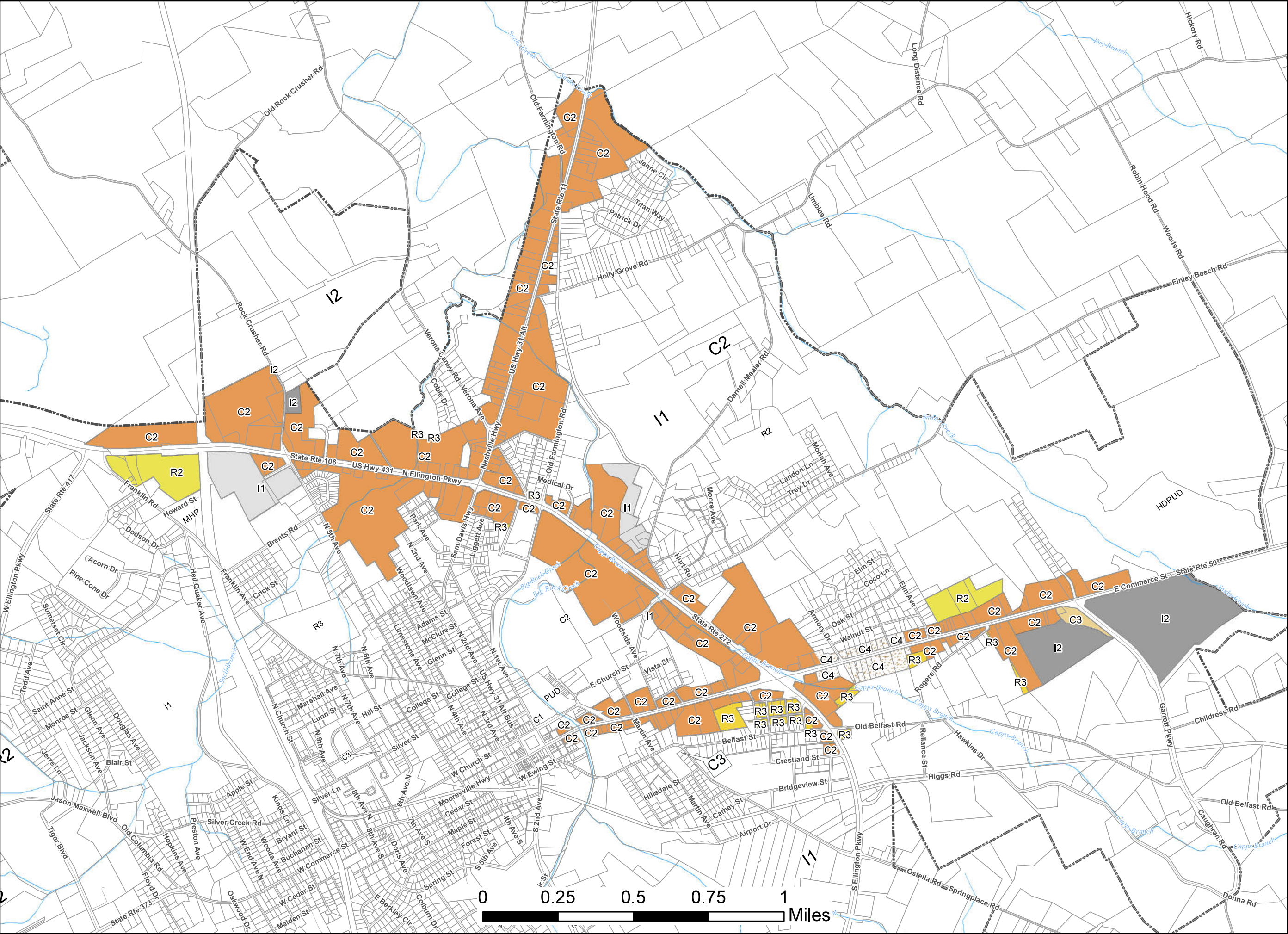
STOOP: A covered platform attached to a building facade near a building entrance.

STREET, PRIMARY: The fronting street of a lot; or when a lot fronts more than one street, the street with the wider right-of-way or that which carries the greater volume of traffic.

STREET, SECONDARY: Where a lot fronts more than one street, the street that has the narrower right-of-way or carries the lesser volume of traffic.

LEWISBURG
CORRIDOR
SPECIAL DISTRICT
MAP
2021

- Corporate Limits
- ZONE
- R1 - Low Density Residential
 - R2 - Medium Density Residential
 - R3 - High Density Residential
 - MHP - Mobile Home Park
 - C1 - Central Business
 - C2 - Intermediate Business
 - C3 - Neighborhood Service Business
 - C4 - Medical/Professional
 - BP - Business Park
 - I1 - Light Industrial
 - I2 - Industrial Park
 - PUD - Planned Unit Development
 - HDPUD - High Density PUD



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